

**MINIMUM MECHANICAL VENTILATION**

PER IBC-M 403 MECHANICAL VENTILATION:

$$VBZ = (RP \times PZ \times AZ) + (RA \times AZ)$$

- VBZ - MINIMUM REQUIRED VENTILATION AIR (CFM)
- RP - PEOPLE OUTDOOR AIR RATE (CFM/PERSON)
- PZ - ZONE POPULATION (PEOPLE/1000 SF)
- RA - AREA OUTDOOR AIR RATE (CFM/SF)
- AZ - ZONE FLOOR AREA (SF)

**HOLDING CELL 001:**

- RP = 5 CFM/PERSON
- PZ = 25 PEOPLE/1000 SF
- AZ = 130 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 25 \text{ P/1000 SF} \times 130 \text{ SF}) + (0.06 \text{ CFM/SF} \times 130 \text{ SF}) = 24 \text{ CFM}$$

EXHAUST REQUIRED = 1 CFM/SF X 130 SF = 130 CFM

VENTILATION PROVIDED = 120 CFM

**HOLDING CELL 002:**

- RP = 5 CFM/PERSON
- PZ = 25 PEOPLE/1000 SF
- AZ = 74 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 25 \text{ P/1000 SF} \times 74 \text{ SF}) + (0.06 \text{ CFM/SF} \times 74 \text{ SF}) = 14 \text{ CFM}$$

EXHAUST REQUIRED = 1 CFM/SF X 74 SF = 75 CFM

VENTILATION PROVIDED = 70 CFM

**HOLDING CELL 003:**

- RP = 5 CFM/PERSON
- PZ = 25 PEOPLE/1000 SF
- AZ = 118 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 25 \text{ P/1000 SF} \times 118 \text{ SF}) + (0.06 \text{ CFM/SF} \times 118 \text{ SF}) = 22 \text{ CFM}$$

EXHAUST REQUIRED = 1 CFM/SF X 118 SF = 118 CFM

VENTILATION PROVIDED = 120 CFM

**CORRIDOR 005:**

- RP = 0 CFM/PERSON
- PZ = 0 PEOPLE/1000 SF
- AZ = 218 SF
- RA = 0.06 CFM/SF

$$(0 \text{ CFM/P} \times 0 \text{ P/1000 SF} \times 218 \text{ SF}) + (0.06 \text{ CFM/SF} \times 218 \text{ SF}) = 13 \text{ CFM}$$

EXHAUST REQUIRED = 0

VENTILATION PROVIDED = 15 CFM

**EXHIBIT 103:**

- RP = 7.5 CFM/PERSON
- PZ = 40 PEOPLE/1000 SF
- AZ = 650 SF
- RA = 0.06 CFM/SF

$$(7.5 \text{ CFM/P} \times 40 \text{ P/1000 SF} \times 650 \text{ SF}) + (0.06 \text{ CFM/SF} \times 650 \text{ SF}) = 234 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 235 CFM

**EXHIBIT 104:**

- RP = 7.5 CFM/PERSON
- PZ = 40 PEOPLE/1000 SF
- AZ = 650 SF
- RA = 0.06 CFM/SF

$$(7.5 \text{ CFM/P} \times 40 \text{ P/1000 SF} \times 650 \text{ SF}) + (0.06 \text{ CFM/SF} \times 650 \text{ SF}) = 234 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 235 CFM

**EXHIBIT 105:**

- RP = 7.5 CFM/PERSON
- PZ = 40 PEOPLE/1000 SF
- AZ = 560 SF
- RA = 0.06 CFM/SF

$$(7.5 \text{ CFM/P} \times 40 \text{ P/1000 SF} \times 560 \text{ SF}) + (0.06 \text{ CFM/SF} \times 560 \text{ SF}) = 202 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 205 CFM

**EXHIBIT 106:**

- RP = 7.5 CFM/PERSON
- PZ = 40 PEOPLE/1000 SF
- AZ = 560 SF
- RA = 0.06 CFM/SF

$$(7.5 \text{ CFM/P} \times 40 \text{ P/1000 SF} \times 560 \text{ SF}) + (0.06 \text{ CFM/SF} \times 560 \text{ SF}) = 202 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 205 CFM

**OFFICE 108:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 100 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 100 \text{ SF}) + (0.06 \text{ CFM/SF} \times 100 \text{ SF}) = 9 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 9 CFM

**OFFICE 109:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 91 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 91 \text{ SF}) + (0.06 \text{ CFM/SF} \times 91 \text{ SF}) = 8 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 8 CFM

**RECEPTION 110:**

- RP = 5 CFM/PERSON
- PZ = 30 PEOPLE/1000 SF
- AZ = 150 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 30 \text{ P/1000 SF} \times 150 \text{ SF}) + (0.06 \text{ CFM/SF} \times 150 \text{ SF}) = 32 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 32 CFM

**ENTRY 111:**

- RP = 5 CFM/PERSON
- PZ = 10 PEOPLE/1000 SF
- AZ = 836 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 836 \text{ SF}) + (0.06 \text{ CFM/SF} \times 836 \text{ SF}) = 71 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 71 CFM

**SECURITY 112:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 193 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 193 \text{ SF}) + (0.06 \text{ CFM/SF} \times 193 \text{ SF}) = 17 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 17 CFM

**OFFICE 113:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 205 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 205 \text{ SF}) + (0.06 \text{ CFM/SF} \times 205 \text{ SF}) = 17 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 17 CFM

**KITCHENETTE 114:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 221 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 221 \text{ SF}) + (0.06 \text{ CFM/SF} \times 221 \text{ SF}) = 19 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 20 CFM

**OFFICE 115:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 106 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 106 \text{ SF}) + (0.06 \text{ CFM/SF} \times 106 \text{ SF}) = 9 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 9 CFM

**JURY ROOM 201:**

- RP = 5 CFM/PERSON
- PZ = 50 PEOPLE/1000 SF
- AZ = 337 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 50 \text{ P/1000 SF} \times 337 \text{ SF}) + (0.06 \text{ CFM/SF} \times 337 \text{ SF}) = 105 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 105 CFM

**RAJIF 203:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 118 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 118 \text{ SF}) + (0.06 \text{ CFM/SF} \times 118 \text{ SF}) = 10 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 10 CFM

**WAITING 204:**

- RP = 5 CFM/PERSON
- PZ = 30 PEOPLE/1000 SF
- AZ = 100 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 30 \text{ P/1000 SF} \times 100 \text{ SF}) + (0.06 \text{ CFM/SF} \times 100 \text{ SF}) = 21 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 21 CFM

**JUDICIAL ASST. 205:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 106 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 106 \text{ SF}) + (0.06 \text{ CFM/SF} \times 106 \text{ SF}) = 9 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 9 CFM

**JUDGES CHAMBER 206:**

- RP = 5 CFM/PERSON
- PZ = 5 PEOPLE/1000 SF
- AZ = 189 SF
- RA = 0.06 CFM/SF

$$(5 \text{ CFM/P} \times 5 \text{ P/1000 SF} \times 189 \text{ SF}) + (0.06 \text{ CFM/SF} \times 189 \text{ SF}) = 16 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 16 CFM

**MEETING/COURT 207:**

- RP = 7.5 CFM/PERSON
- PZ = 100 PEOPLE/1000 SF
- AZ = 3125 SF
- RA = 0.06 CFM/SF

$$(7.5 \text{ CFM/P} \times 100 \text{ P/1000 SF} \times 3125 \text{ SF}) + (0.06 \text{ CFM/SF} \times 3125 \text{ SF}) = 2525 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 2525 CFM

**EXHIBIT 208:**

- RP = 7.5 CFM/PERSON
- PZ = 40 PEOPLE/1000 SF
- AZ = 560 SF
- RA = 0.06 CFM/SF

$$(7.5 \text{ CFM/P} \times 40 \text{ P/1000 SF} \times 560 \text{ SF}) + (0.06 \text{ CFM/SF} \times 560 \text{ SF}) = 202 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 205 CFM

**EXHIBIT 209:**

- RP = 7.5 CFM/PERSON
- PZ = 40 PEOPLE/1000 SF
- AZ = 560 SF
- RA = 0.06 CFM/SF

$$(7.5 \text{ CFM/P} \times 40 \text{ P/1000 SF} \times 560 \text{ SF}) + (0.06 \text{ CFM/SF} \times 560 \text{ SF}) = 202 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 205 CFM

**WEST STAIR:**

- RP = 0 CFM/PERSON
- PZ = 0 PEOPLE/1000 SF
- AZ = 780 SF
- RA = 0.06 CFM/SF

$$(0 \text{ CFM/P} \times 0 \text{ P/1000 SF} \times 780 \text{ SF}) + (0.06 \text{ CFM/SF} \times 780 \text{ SF}) = 47 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

VENTILATION PROVIDED = 50 CFM

**EAST STAIR:**

- RP = 0 CFM/PERSON
- PZ = 0 PEOPLE/1000 SF
- AZ = 780 SF
- RA = 0.06 CFM/SF

$$(0 \text{ CFM/P} \times 0 \text{ P/1000 SF} \times 780 \text{ SF}) + (0.06 \text{ CFM/SF} \times 780 \text{ SF}) = 47 \text{ CFM}$$

EXHAUST REQUIRED = 0 CFM

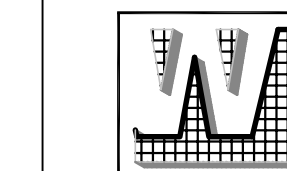
VENTILATION PROVIDED = 50 CFM



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

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251 E. 7TH AVENUE TALLAHASSEE FL 32303  
(850) 222 - 7442  
www.emiarch.com  
ICD#19 # A-000609 # C00153

**NOTE:**  
11"x17" SHEETS ARE PLOTTED  
AT 1/2" THE SCALE NOTED ON  
THESE DRAWINGS.



**r.e. Walsh Engineering, Inc.**  
3073 Hickory Wind Road, Tallahassee, Florida 32317  
Phone (850) 656-3800 C.A.#0009540

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Roger E. Walsh, P.E.  
FLA #36997

**Florida Department of State  
Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

MONTECELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

REV	DATE	DESCRIPTION

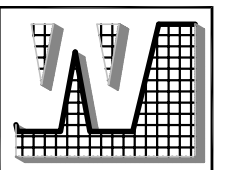
PROJECT PHASE 100% CONSTRUCTION DOCUMENTS	
DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE <b>MECHANICAL VENTILATION AIR CALCULATIONS</b>	
SHEET NO <b>M102</b>	REV NO

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65000

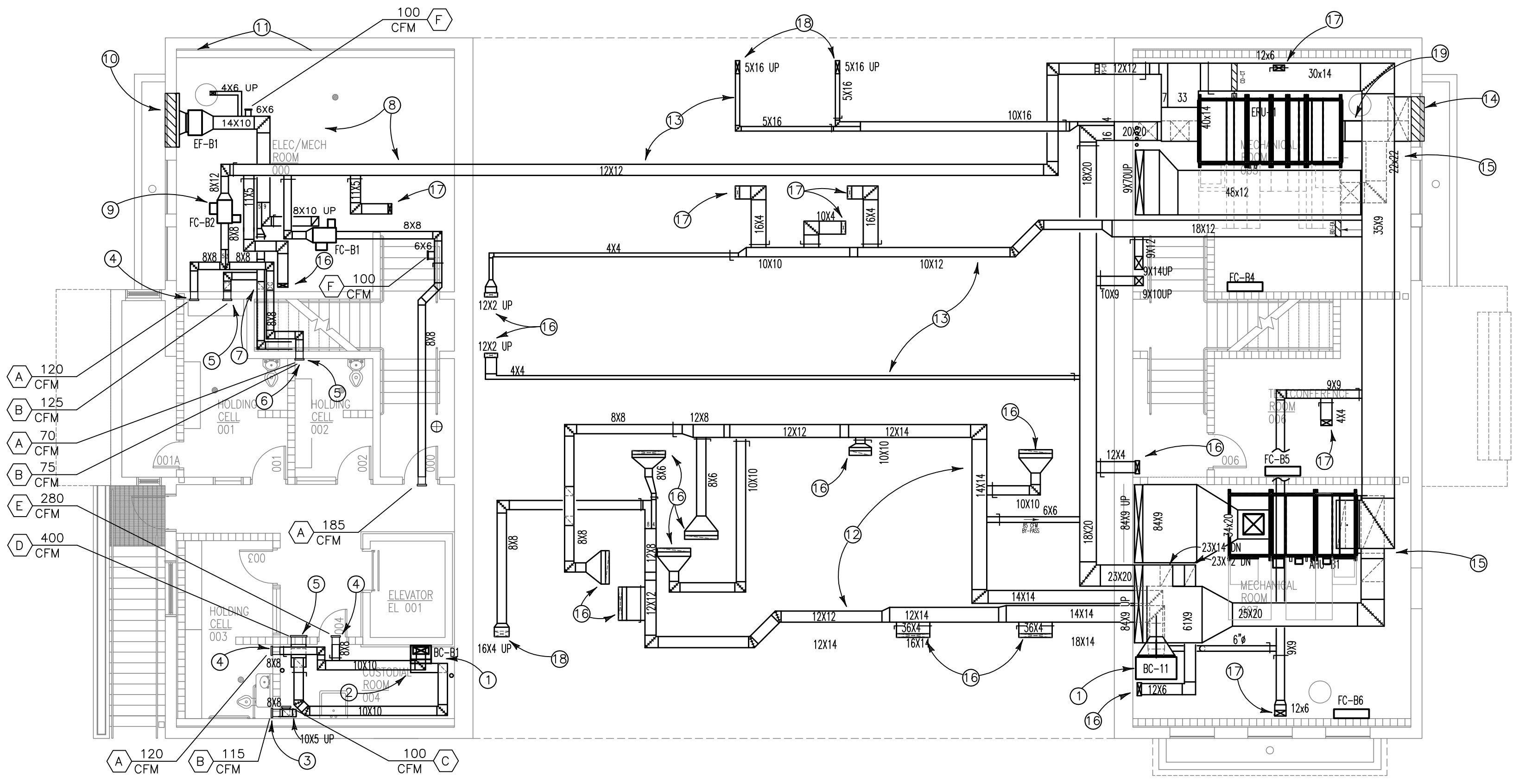
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SHEET TITLE

**BASEMENT FLOOR  
MECHANICAL PLAN**

SHEET NO  
**M201**

REV NO



**BASEMENT DUCT PLAN**  
SCALE: 1/8" = 1'-0"

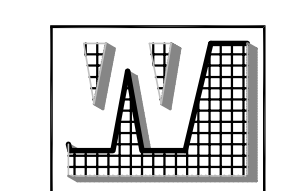
**NEW WORK NOTES:**  
THIS SHEET ONLY

- ① PROVIDE 6" CONCRETE HOUSE KEEPING PAD 6" LARGER THAN UNIT IN EACH DIRECTION. BULL NOSE ALL CORNERS. PROVIDE UNIT VIBRATION ISOLATION PAD EQUAL TO MASON INDUSTRIES TYPE "W" NEOPRENE FLATBACK WAFFLE PAD.
- ② TRANSITION FROM UNIT CONNECTION TO 10X10 RETURN DUCT AND TURN UP HIGH AS POSSIBLE.
- ③ INSTALL EXHAUST GRILLE 3" ABOVE FLOOR. COORDINATE PLACEMENT OF SECURITY PLUMBING FIXTURE TO ENSURE ADEQUATE CLEARANCE IS PROVIDED FOR INSTALLATION OF EXHAUST GRILLE IN THIS LOCATION. TURN EXHAUST DUCT UP EXPOSED IN ROOM 004. PROVIDE MANUAL BALANCING DAMPER IN DUCT SERVING THIS GRILLE. PROVIDE INDICATED EXHAUST GRILLE HIGH IN WALL ABOVE BASEMENT LEVEL UP TO EXHAUST FAN EF-21 SHOWN ON SECOND FLOOR.
- ④ HOLD GRILLE TIGHT TO BOTTOM OF BOND BEAM.
- ⑤ INSTALL RETURN/EXHAUST GRILLE IN SECOND BLOCK COURSE ABOVE FLOOR.
- ⑥ HOLD GRILLE AS HIGH AS STRUCTURE WILL ALLOW.
- ⑦ TURN SUPPLY AND EXHAUST DUCT DOWN AS NECESSARY TO ROUTE BELOW STAIR CASE TO CELL WALL. COORDINATE LAYOUT WITH PLUMBING PIPING NEEDS.
- ⑧ HOLD ALL DUCTWORK IN ROOM 004 AS HIGH AS POSSIBLE BELOW PLUMBING.
- ⑨ FAN COILS AND EXHAUST FANS IN ROOM 004 SHALL BE SUSPENDED FROM FLOOR JOISTS ABOVE USING ALL THREAD ROD.
- ⑩ PROVIDE NOMINAL 55W X 36H LOUVER EQUAL TO RUSKIN MODEL ELF375DXD. FIELD VERIFY DIMENSION. ARCHITECT TO SELECT COLOR FROM FULL COLOR RANGE. PROVIDE PLENUM BACK ON LOUVER AND TRANSITION FROM FAN DISCHARGE TO PLENUM BACK.
- ⑪ TURN DUCT UP CONCEALED IN WALL ABOVE. TYPICAL.
- ⑫ DUCTS IN CRAWL SPACE. HOLD DUCTS AS HIGH AS POSSIBLE. MAINTAIN MINIMUM 6" CLEARANCE BETWEEN DUCT SYSTEM AND EARTH. REMOVE SOIL IF NECESSARY.
- ⑬ DUCTS IN CRAWL SPACE. HOLD DUCTS BELOW PIPING. MAINTAIN MINIMUM 6" CLEARANCE BETWEEN DUCT SYSTEM AND EARTH. REMOVE SOIL IF NECESSARY.
- ⑭ PROVIDE NOMINAL 55W X 25H LOUVER EQUAL TO RUSKIN MODEL ELF63 50DMP. FIELD VERIFY DIMENSION. ARCHITECT TO SELECT COLOR FROM FULL COLOR RANGE. PROVIDE PLENUM BACK ON LOUVER AND TRANSITION FROM FAN DISCHARGE TO PLENUM BACK.
- ⑮ MODULAR AHU AND ERU MUST BE DISASSEMBLED TO GET THEM IN THE BASEMENT AND REASSEMBLED IN PLACE.
- ⑯ UP TO FLOOR REGISTER. TRANSITION DUCT TO FIT.
- ⑰ UP TO FAN COIL.
- ⑱ EXTEND DUCT UP IN WALL ABOVE TO SIDEWALL GRILLE.
- ⑳ OUTSIDE AIR DUCT CONNECTION TO UPPER DECK, EXHAUST AIR CONNECTION TO LOWER DECK.

**GENERAL NOTES**

- SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND DETAILS. THESE MECHANICAL DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO BE SCALED.
- COORDINATE DUCT ROUTING AND EQUIPMENT LOCATIONS WITH PLUMBING, AND ELECTRICAL INSTALLATIONS AND WITH BUILDING STRUCTURAL MEMBERS. OFFSET DUCTS AND SHIFT EQUIPMENT AS REQUIRED TO AVOID CONFLICTS. CONFLICTING WORK NOT COORDINATED WILL BE REMOVED TO THE EXTENT NECESSARY TO ALLOW PROPER INSTALLATION OF ALL SYSTEMS.
- COORDINATE LOCATIONS OF CEILING REGISTERS AND DIFFUSERS WITH LIGHTING LAYOUT AND WITH REFLECTED CEILING PLAN.
- DUCT SIZES INDICATED ARE CLEAR INSIDE DIMENSIONS REQUIRED. WHERE DUCT LINER OCCURS, INCREASE SHEET METAL DUCT SIZES AS REQUIRED TO ACCOMMODATE LINER.
- REFER TO ELECTRICAL DRAWINGS FOR VOLTAGE AND PHASE REQUIREMENTS OF ALL EQUIPMENT.
- SUPPORT ALL DUCTS, PIPING AND EQUIPMENT FROM PRIMARY BUILDING STRUCTURAL MEMBERS ONLY.
- PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL EQUIPMENT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE, FLORIDA BUILDING CODE-BUILDING, FLORIDA BUILDING CODE-PLUMBING, AND FLORIDA BUILDING CODE-MECHANICAL, ALL 6TH EDITION.

NOTE:  
11"x17" SHEETS ARE PLOTTED  
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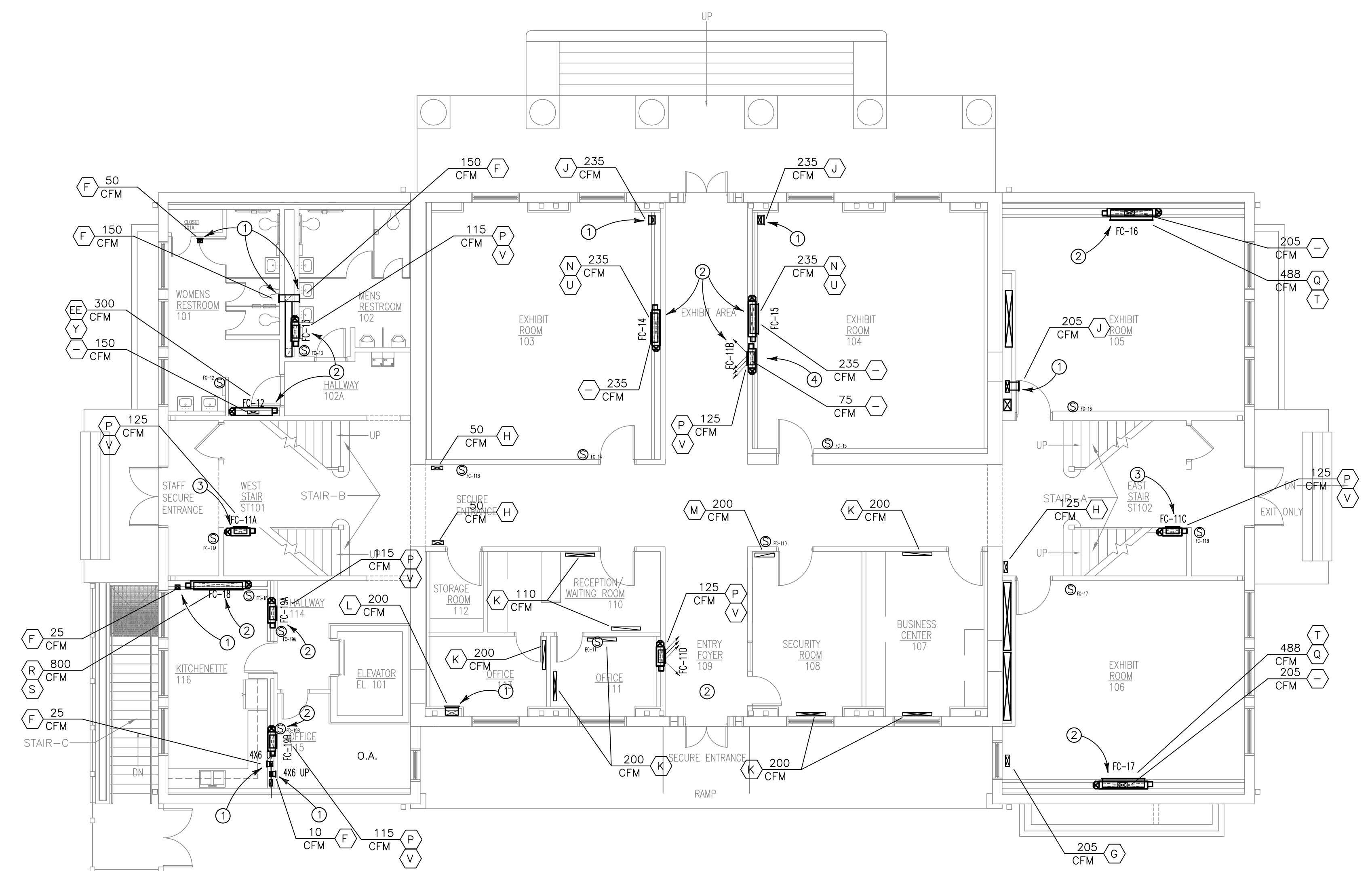
REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**FIRST FLOOR  
MECHANICAL PLAN**

SHEET NO <b>M202</b>	REV NO
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**FIRST FLOOR DUCT PLAN**  
SCALE: 1/8" = 1'-0"

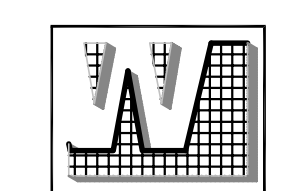
**NEW WORK NOTES:**  
THIS SHEET ONLY

- ① GRILLE 6" BELOW CEILING.
- ② EXTEND DUCT FROM FAN COIL CONCEALED IN WALL TO SIDEWALL SUPPLY GRILLE 6" BELOW CEILING. PROVIDE FAN COIL RETURN GRILLE IN ACCESS PANEL ALIGNED WITH FAN COIL RETURN. PROVIDE INDICATED OUTSIDE AIR FLOW INTRODUCED THROUGH FLOOR TO UNIT RETURN.
- ③ EXTEND DUCT FROM FAN COIL CONCEALED BELOW STAIRS TO SIDEWALL SUPPLY GRILLE AS HIGH AS POSSIBLE. PROVIDE FAN COIL RETURN GRILLE IN ACCESS PANEL ALIGNED WITH FAN COIL RETURN. PROVIDE INDICATED OUTSIDE AIR FLOW INTRODUCED THROUGH FLOOR TO UNIT RETURN.

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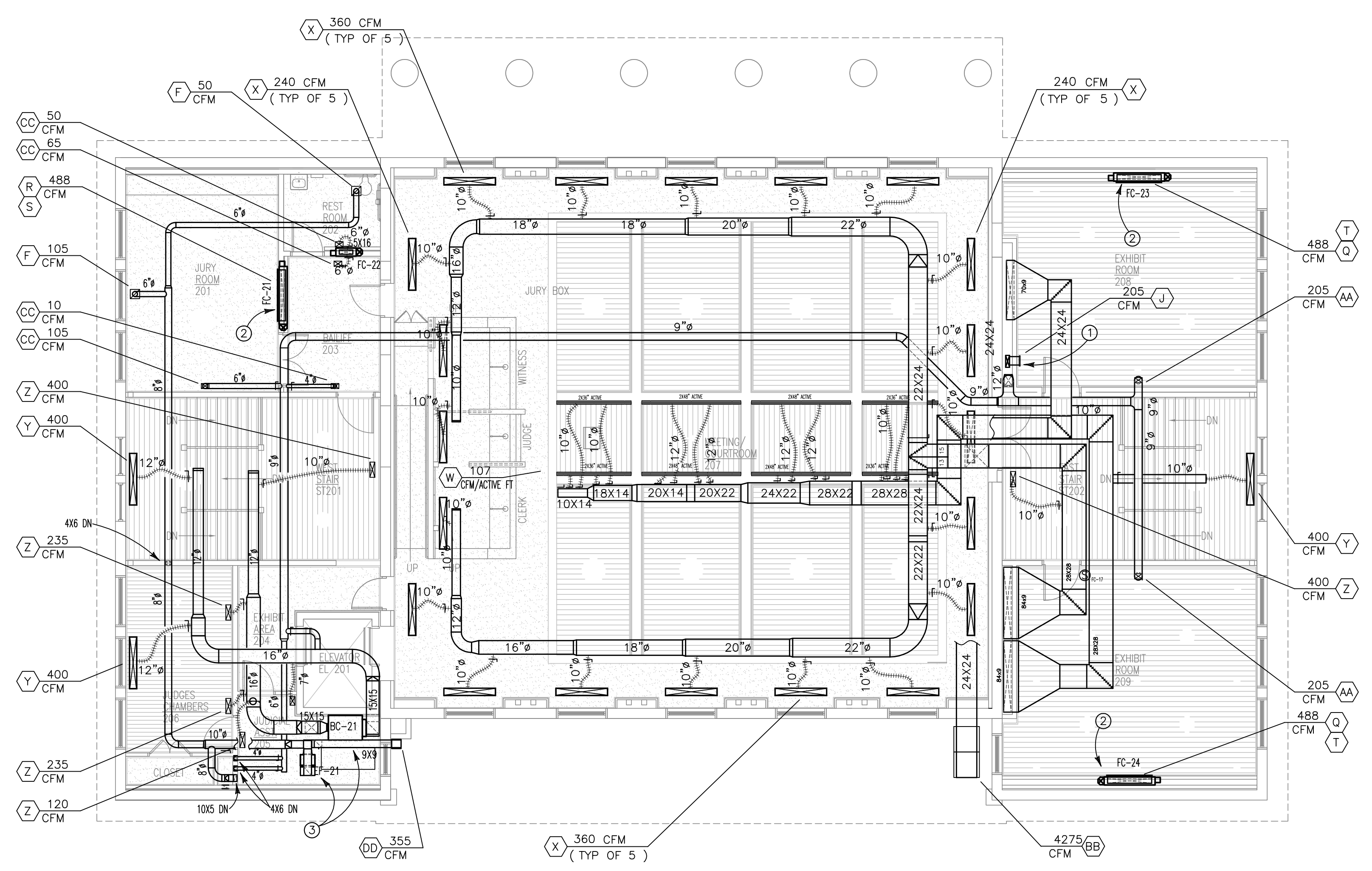
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SHEET TITLE

**SECOND FLOOR  
MECHANICAL PLAN**

SHEET NO <b>M203</b>	REV NO
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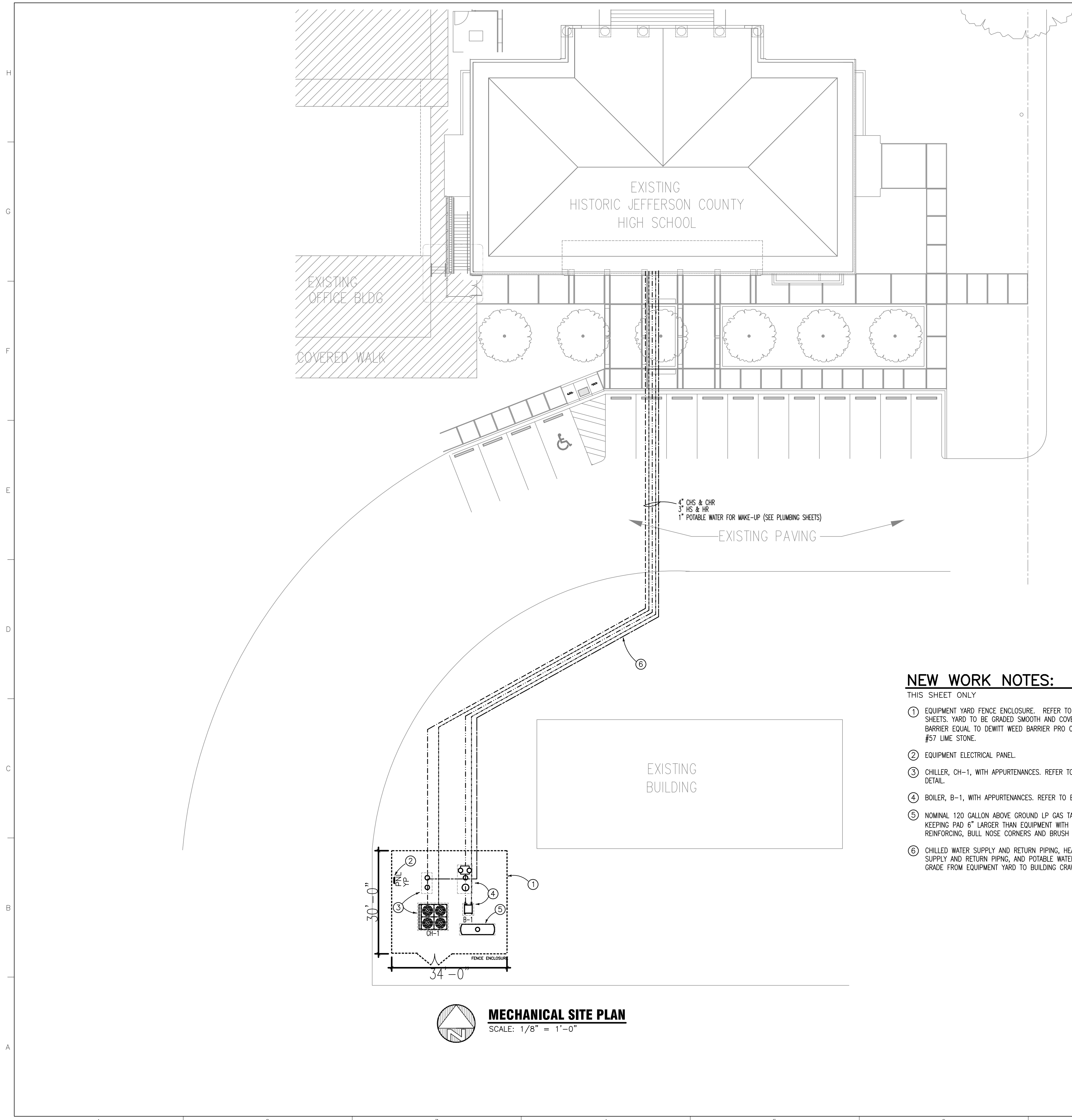
**SECOND FLOOR DUCT PLAN**  
SCALE: 1/8" = 1'-0"

**NEW WORK NOTES:**

- THIS SHEET ONLY
- GRILLE 6" BELOW CEILING.
  - EXTEND DUCT FROM FAN COIL CONCEALED IN WALL TO SIDEWALL. SUPPLY GRILLE 6" BELOW CEILING. PROVIDE FAN COIL RETURN GRILLE IN ACCESS PANEL ALIGNED WITH FAN COIL RETURN.
  - UNIT SUSPENDED FROM STRUCTURE ABOVE IN EQUIPMENT MEZZANINE WITHIN CONDITIONED ENVELOPE ABOVE CEILING. REFER TO ARCHITECTURAL PLANS.

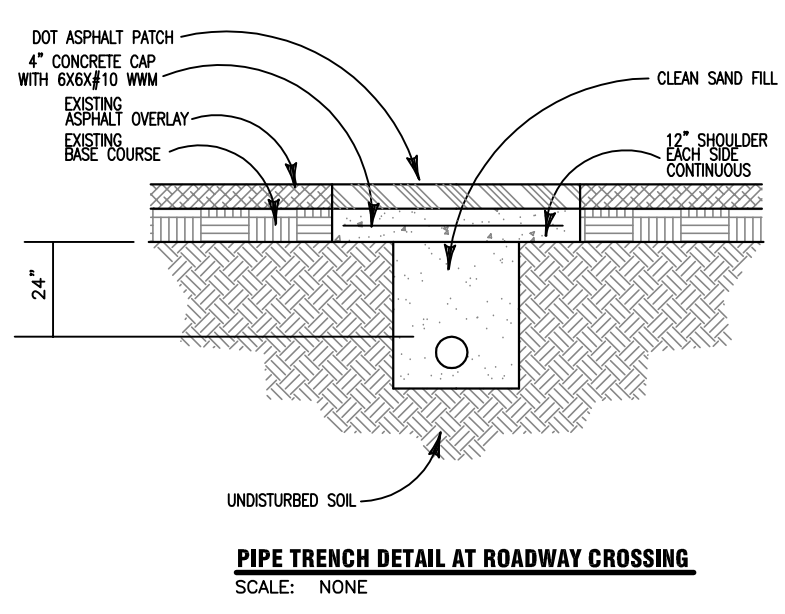
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**MECHANICAL SITE PLAN**  
SCALE: 1/8" = 1'-0"

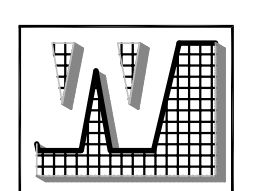
- NEW WORK NOTES:**  
THIS SHEET ONLY
- ① EQUIPMENT YARD FENCE ENCLOSURE. REFER TO ARCHITECTURAL SHEETS. YARD TO BE GRADED SMOOTH AND COVERED WITH WEED BARRIER EQUAL TO DEWITT WEED BARRIER PRO OR EQUAL, AND 4" OF #57 LIME STONE.
  - ② EQUIPMENT ELECTRICAL PANEL.
  - ③ CHILLER, CH-1, WITH APPURTENANCES. REFER TO CHILLER PIPING DETAIL.
  - ④ BOILER, B-1, WITH APPURTENANCES. REFER TO BOILER PIPING DETAIL.
  - ⑤ NOMINAL 120 GALLON ABOVE GROUND LP GAS TANK ON 8" HOUSE KEEPING PAD 6" LARGER THAN EQUIPMENT WITH 6X6X#10 WWM REINFORCING, BULL NOSE CORNERS AND BRUSH FINISH.
  - ⑥ CHILLED WATER SUPPLY AND RETURN PIPING, HEATING HOT WATER SUPPLY AND RETURN PIPING, AND POTABLE WATER PIPING ALL BELOW GRADE FROM EQUIPMENT YARD TO BUILDING CRAWL SPACE.



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

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Roger E. Walsh, P.E.  
FLA #36997

Florida Department of State  
Division of Historical Resources

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**  
MONTICELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

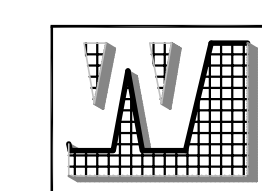
DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE

**MECHANICAL  
SITE PLAN**

SHEET NO <b>M204</b>	REV NO
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REV	DATE	DESCRIPTION

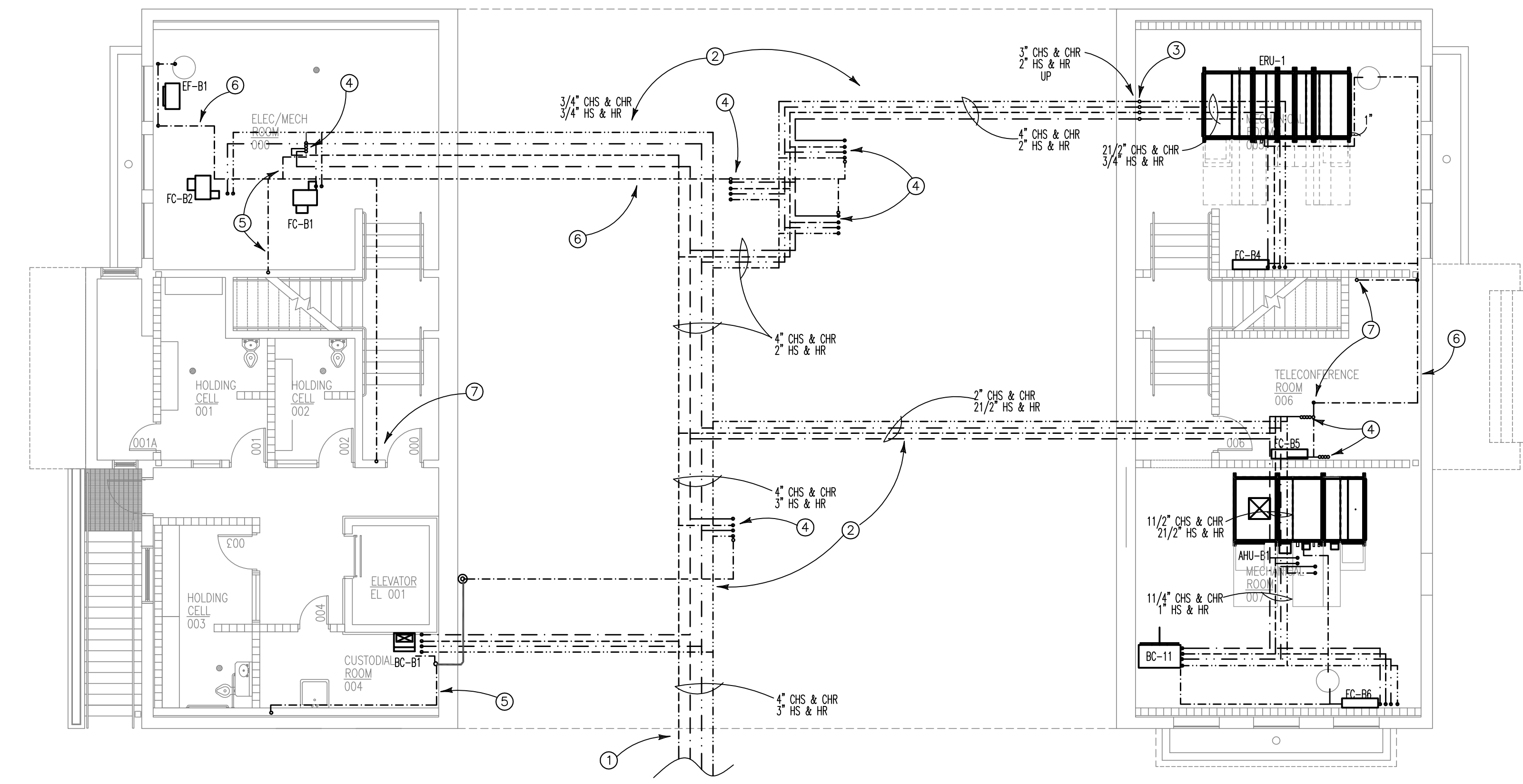
PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE

**BASEMENT  
PIPING PLAN**

SHEET NO <b>M205</b>	REV NO
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**BASEMENT PIPING PLAN**  
SCALE: 1/8" = 1'-0"

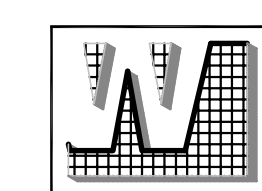
**NEW WORK NOTES:**

- THIS SHEET ONLY
- ① CHILLED AND HOT WATER SUPPLY AND RETURN PIPING BELOW GRADE FROM EQUIPMENT YARD. SEE SITE PLAN FOR CONTINUATION.
  - ② PIPING EXPOSED IN CRAWL SPACE. MAINTAIN MINIMUM 6" SEPARATION FROM EARTH OR INSULATE AS BURIED PIPE.
  - ③ TURN BRANCH UP TO ATTIC.
  - ④ CHILLED AND HOT WATER SUPPLY AND RETURN UP TO FAN COIL ABOVE. PIPE SIZED AS SCHEDULED.
  - ⑤ ROUTE 3/4" CONDENSATE DRAIN FROM FAN COIL ABOVE TO HUB DRAIN.
  - ⑥ ROUTE CONDENSATE DRAIN TO SUMP.
  - ⑦ CONDENSATE DOWN FROM ABOVE.

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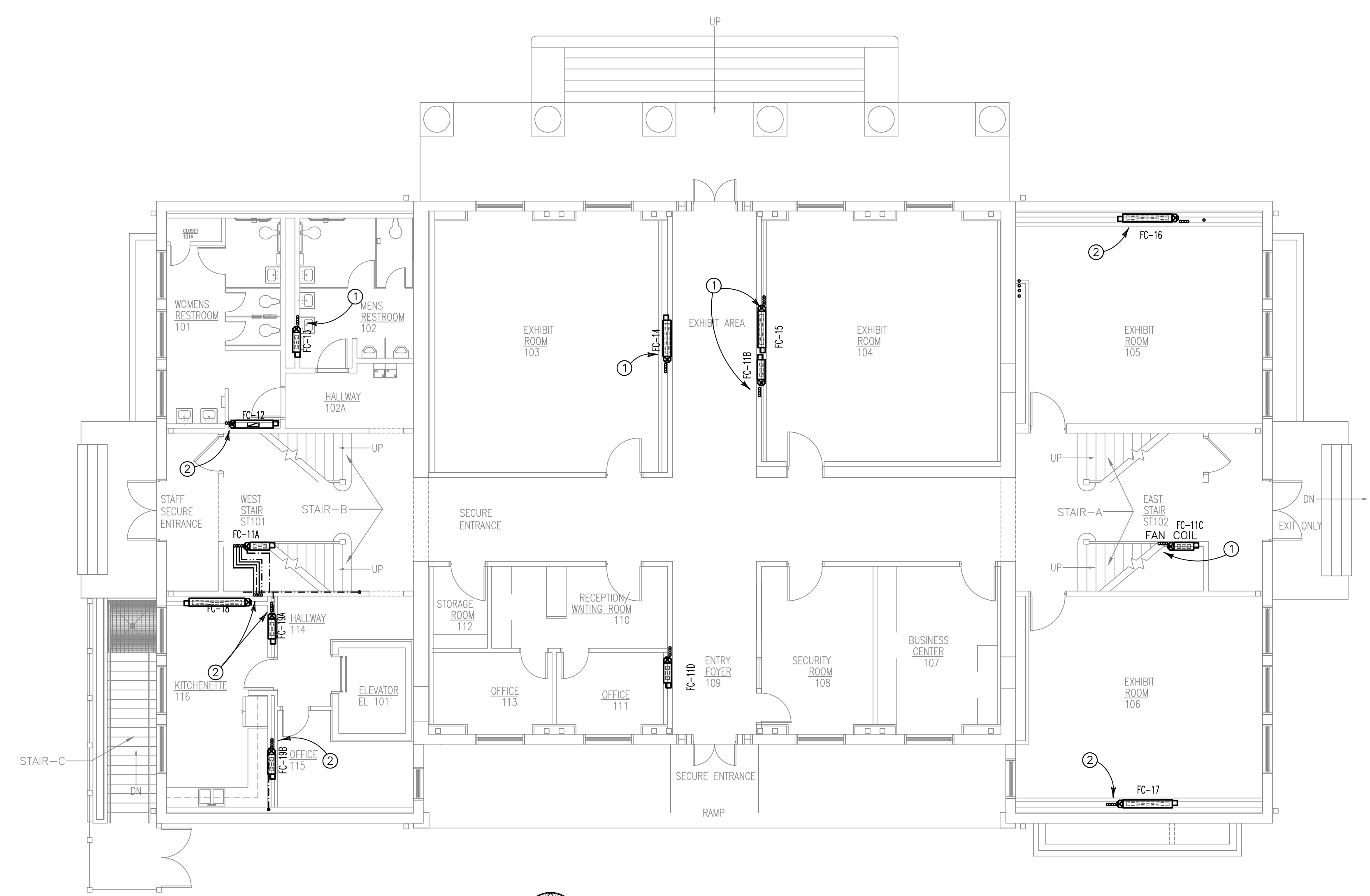
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DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE

**FIRST FLOOR  
PIPING PLAN**

SHEET NO <b>M206</b>	REV NO
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**FIRST FLOOR PIPING PLAN**  
SCALE: 1/8" = 1'-0"

**NEW WORK NOTES:**

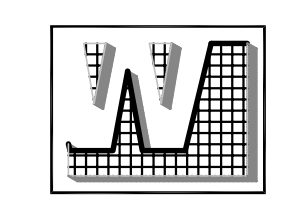
THIS SHEET ONLY

- ① CHILLED AND HOT WATER SUPPLY AND RETURN UP TO FAN COIL FROM BELOW. PIPE SIZED AS SCHEDULED. 3/4" CONDENSATE PIPE DOWN TO BASEMENT LEVEL DISCHRG INTO SUMP.
- ② CHILLED AND HOT WATER SUPPLY AND RETURN DOWN TO FAN COIL FROM ABOVE. PIPE SIZED AS SCHEDULED. 3/4" CONDENSATE PIPE DOWN TO BASEMENT LEVEL DISCHARGE INTO SUMP.

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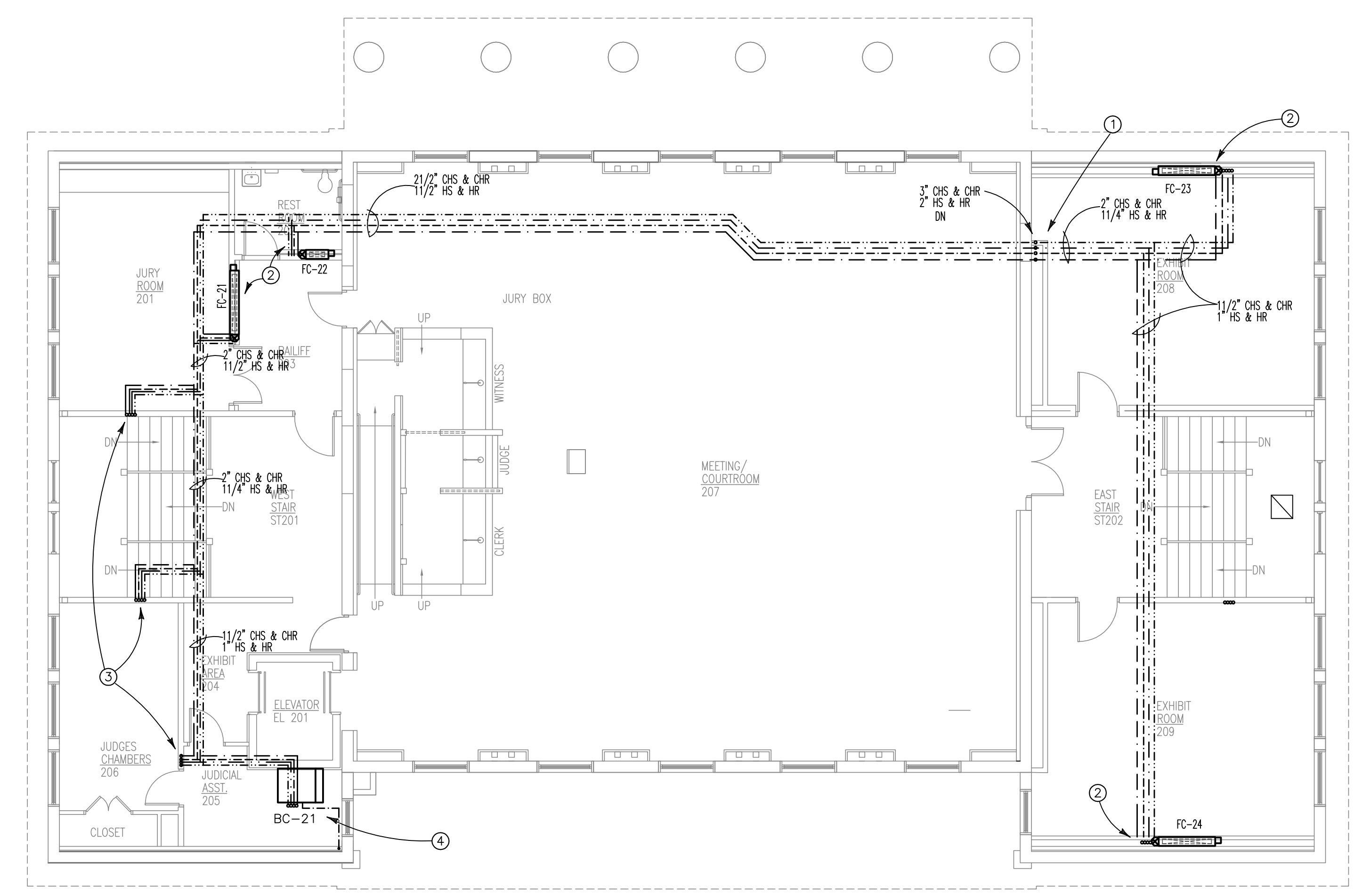
REV	DATE	DESCRIPTION


PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**SECOND FLOOR  
PIPING PLAN**

SHEET NO <b>M207</b>	REV NO
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 **SECOND FLOOR PIPING PLAN**  
SCALE: 1/8" = 1'-0"

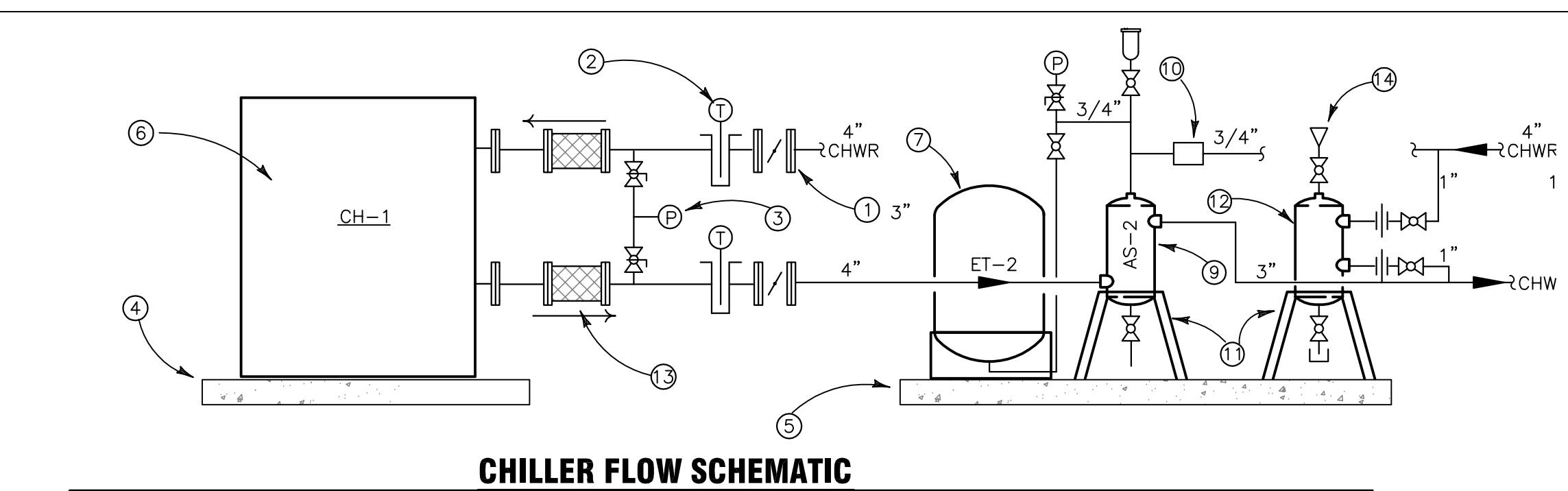
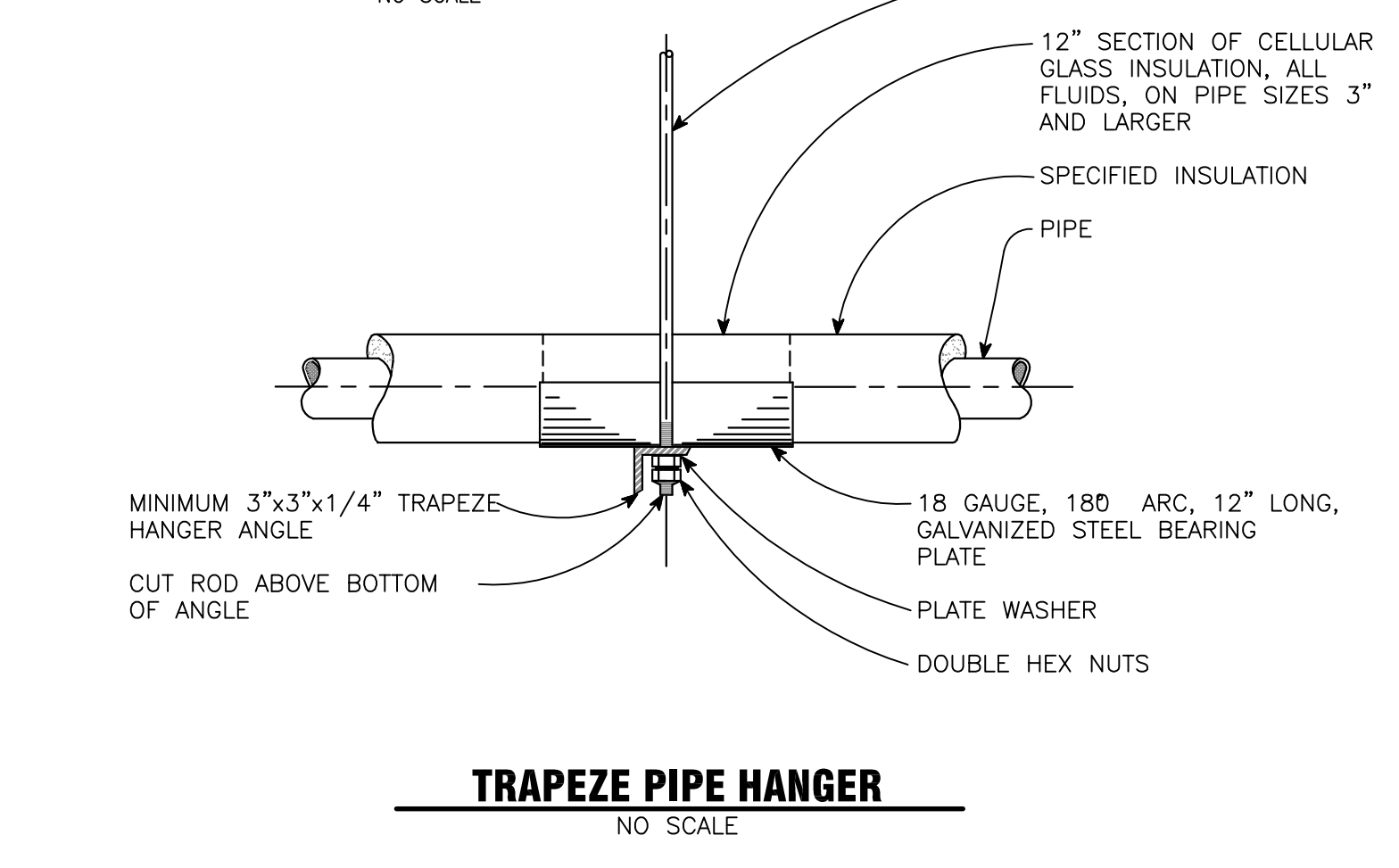
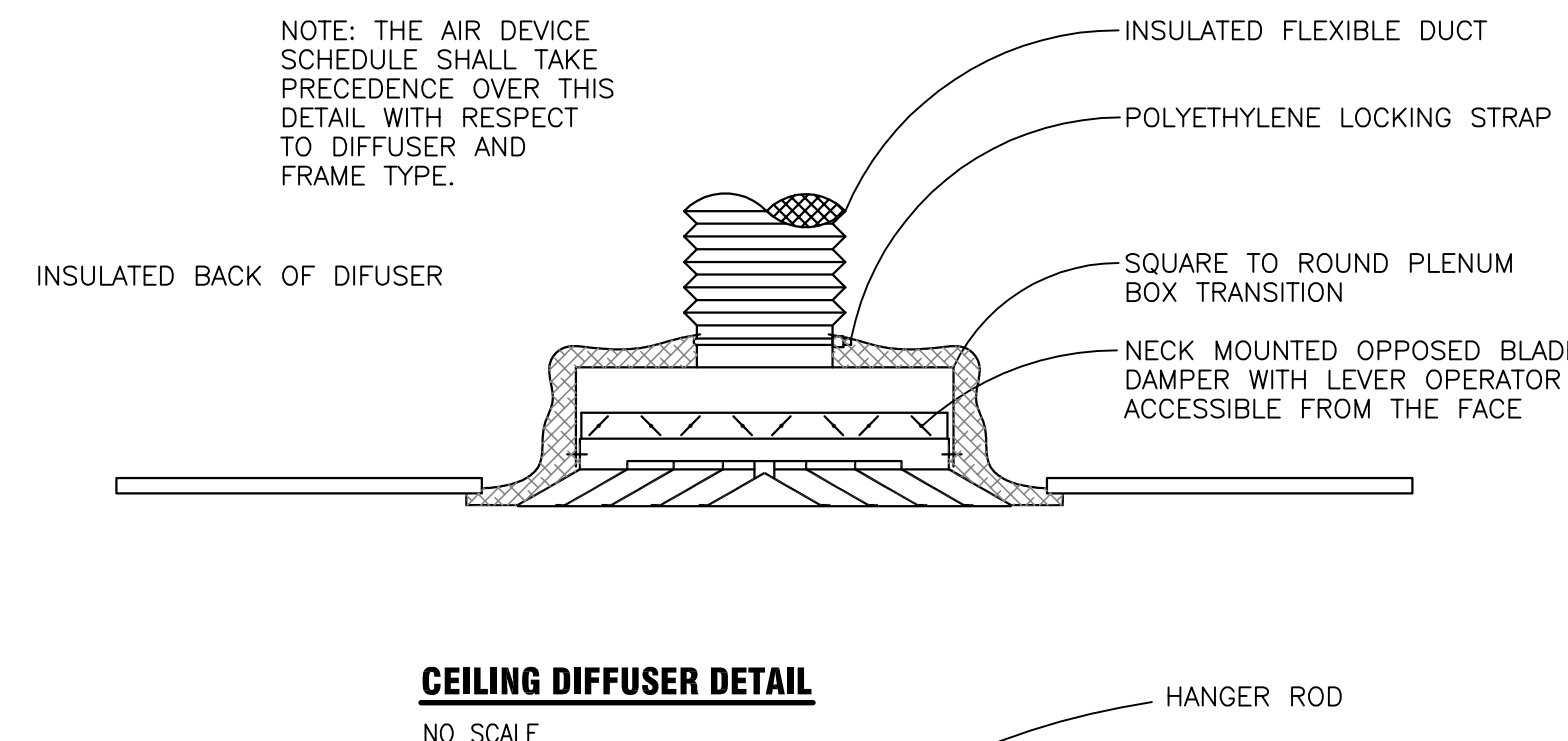
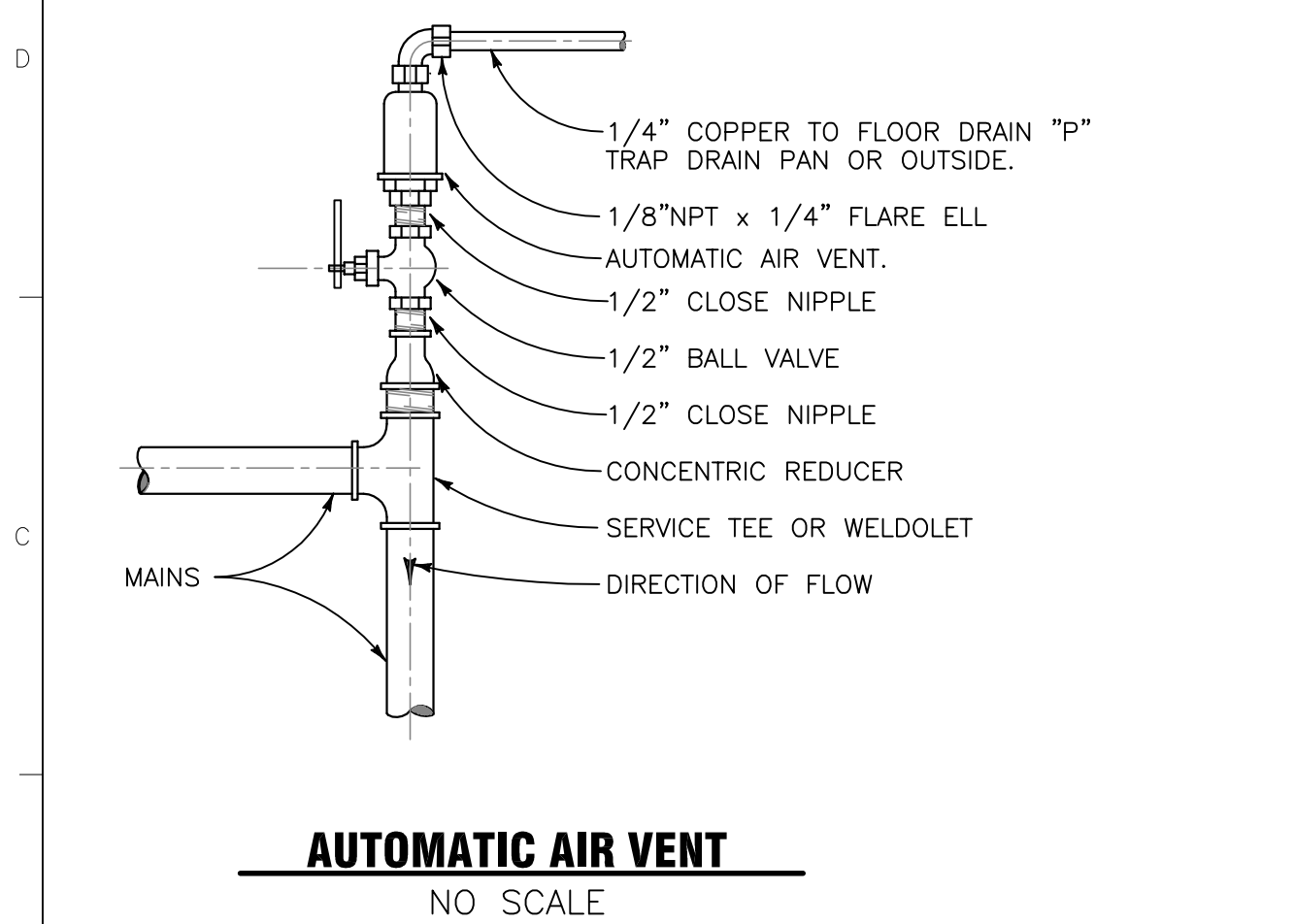
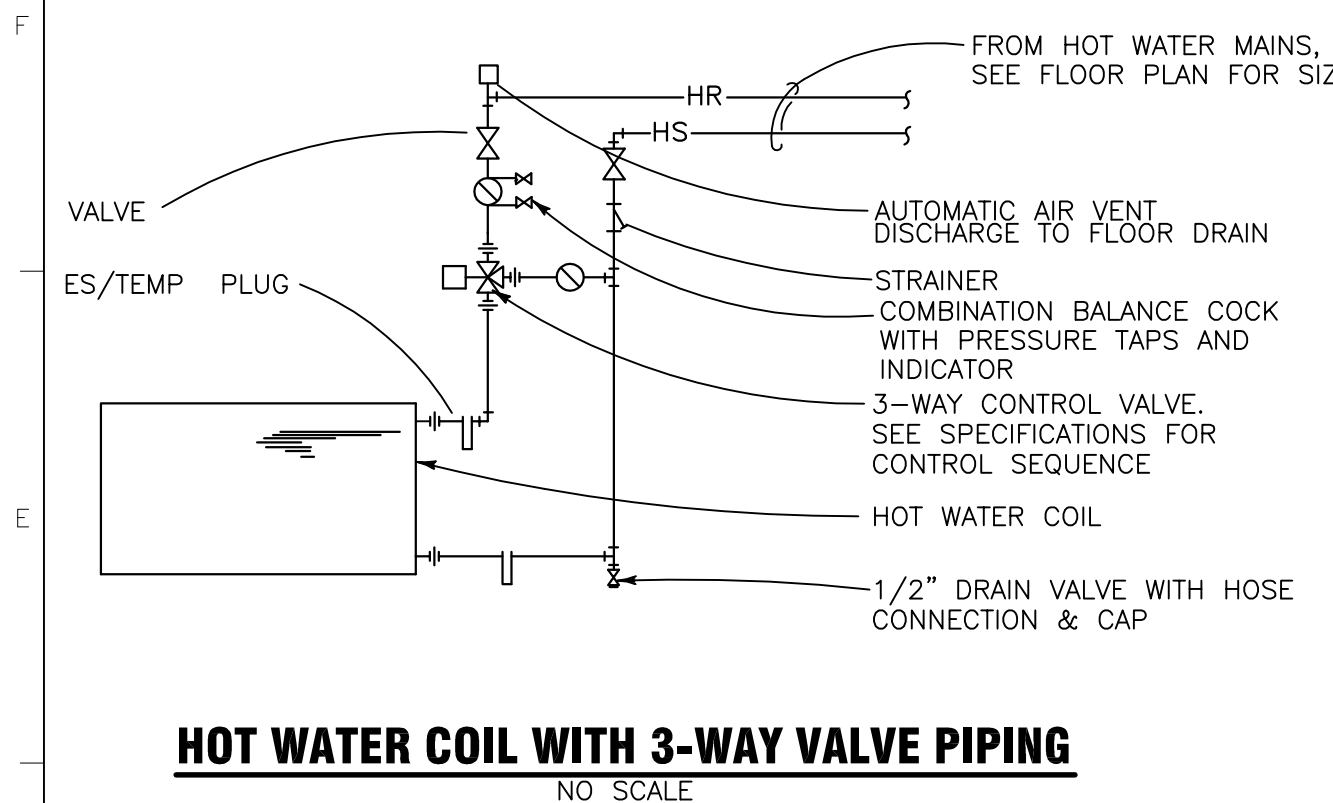
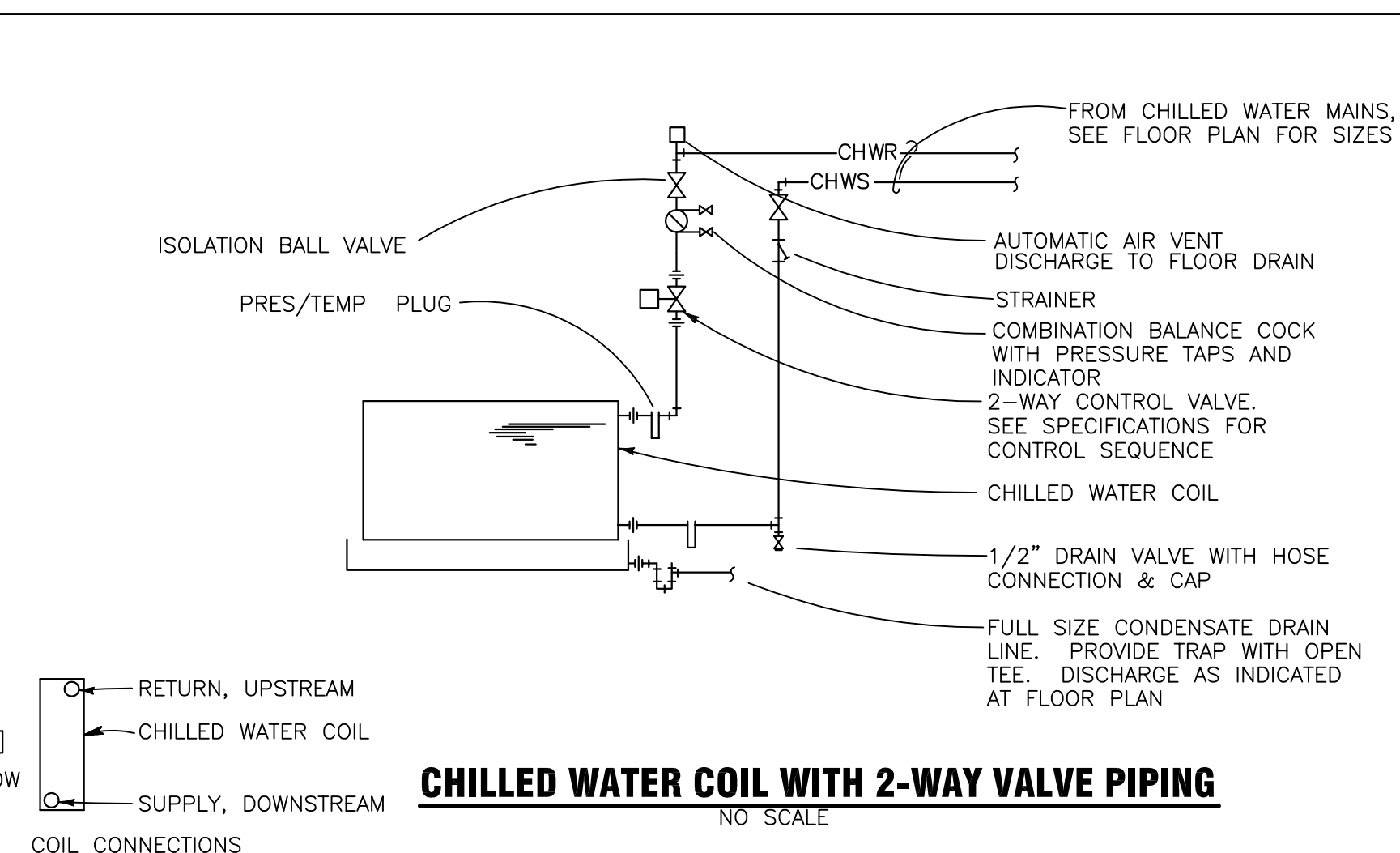
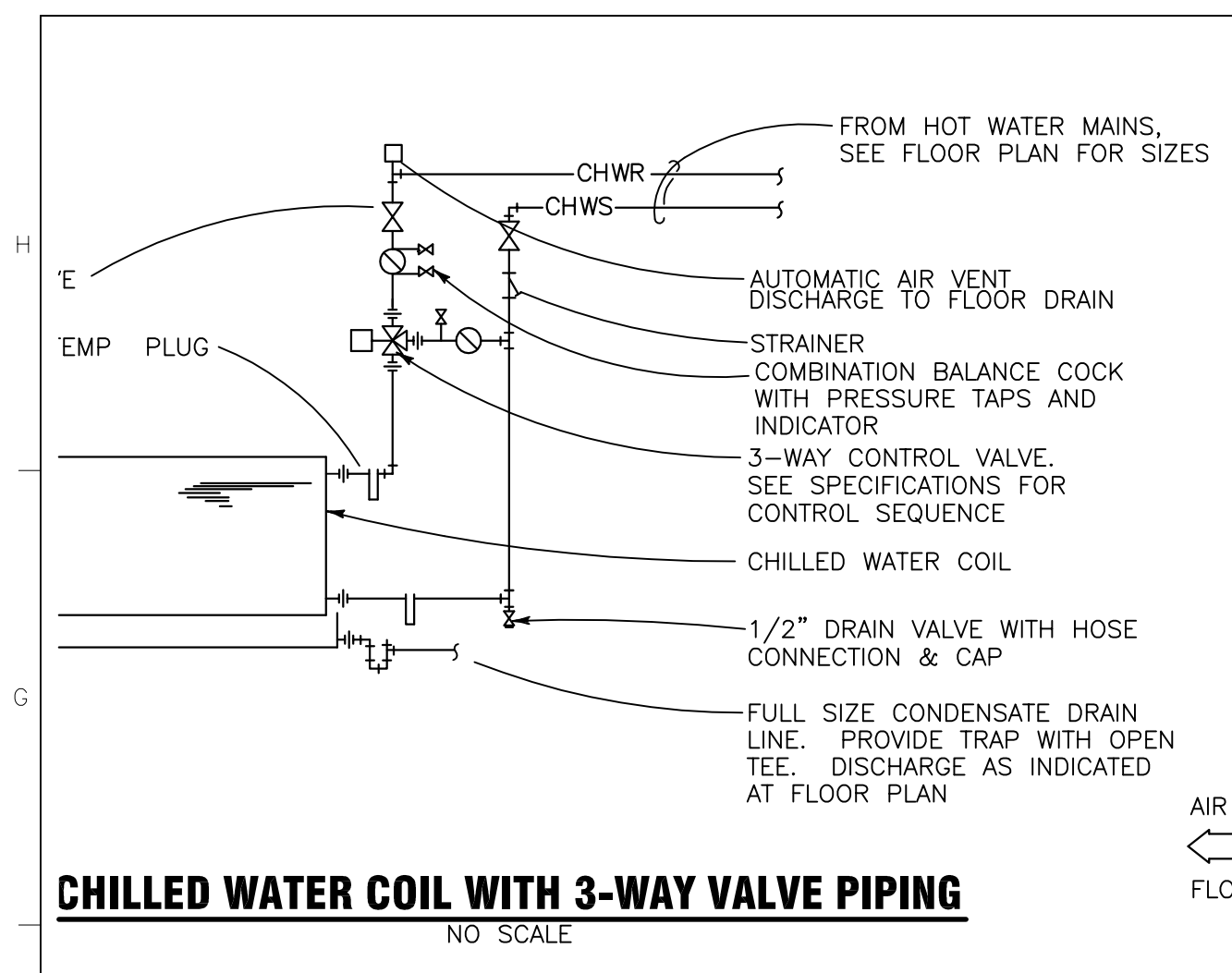
**NEW WORK NOTES:**

- THIS SHEET ONLY
- ① CHILLED AND HOT WATER SUPPLY AND RETURN UP FROM BELOW.
  - ② TURN CHILLED AND HOT WATER SUPPLY AND RETURN DOWN TO FAN COIL FROM ABOVE. PIPE SIZED AS SCHEDULED. EXTEND 3/4" CONDENSATE CONCEALED IN WALL TO BASEMENT LEVEL DISCHARGE IN SUMP.
  - ③ TURN CHILLED AND HOT WATER SUPPLY AND RETURN DOWN TO FAN COIL ON FIRST FLOOR. PIPE SIZED AS SCHEDULED. EXTEND 3/4" CONDENSATE CONCEALED IN WALL TO BASEMENT LEVEL DISCHARGE IN SUMP.
  - ④ CHILLED AND HOT WATER SUPPLY AND RETURN TO BLOWER COIL IN EQUIPMENT MEZZINE. PIPE SIZED AS SCHEDULED. EXTEND 3/4" CONDENSATE CONCEALED IN WALL TO BASEMENT LEVEL DISCHARGE IN SUMP.

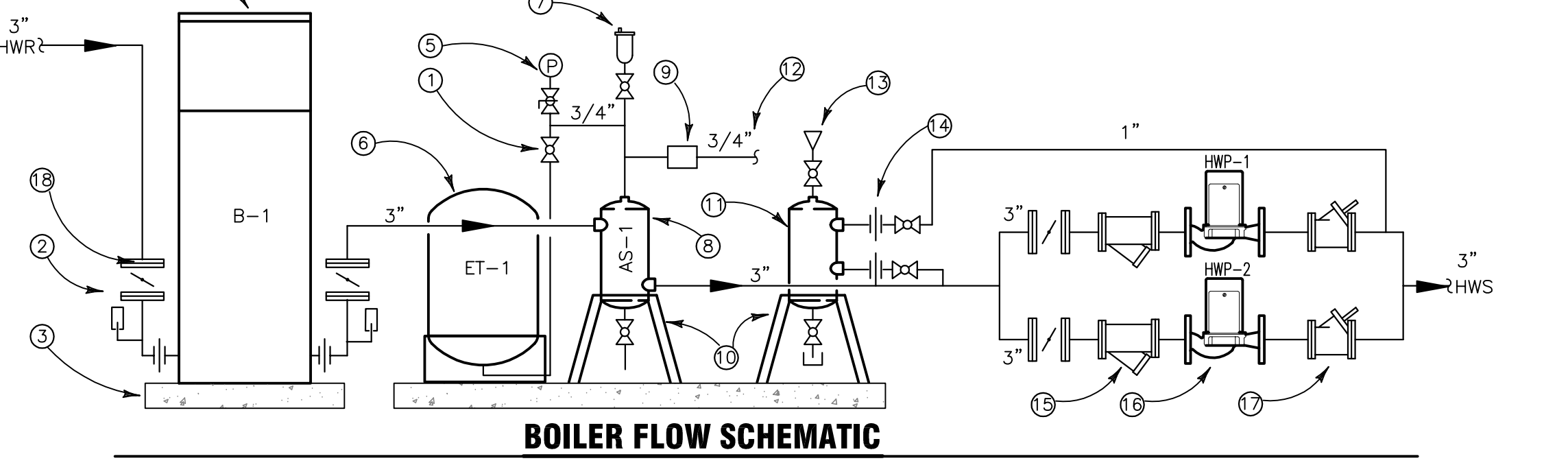
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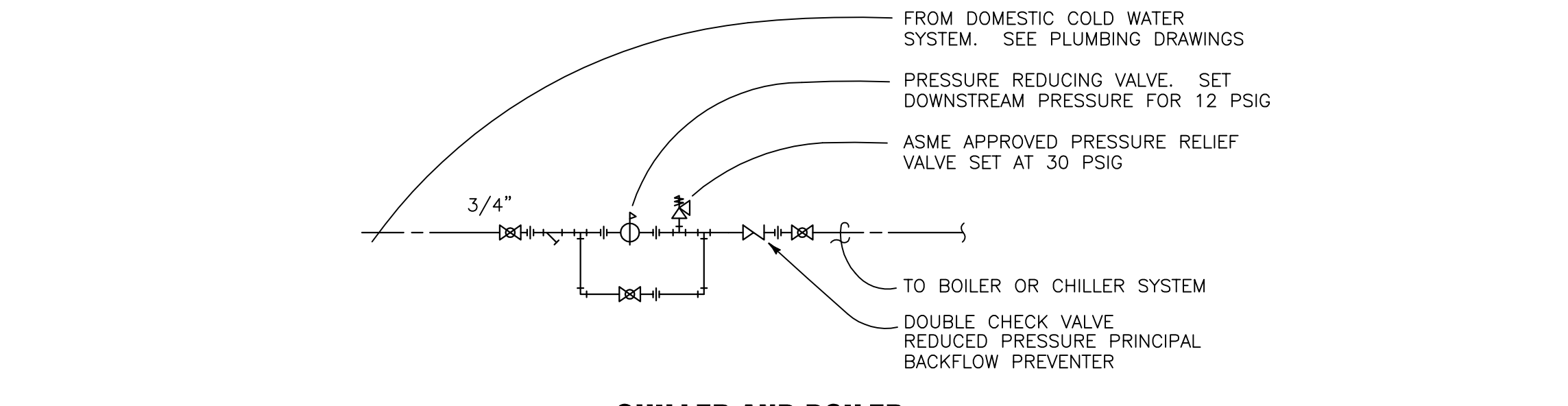
- ① BUTTERFLY VALVE, TYPICAL.
- ② STEM TYPE THERMOMETER WITH SEPERABLE SOCKET WELL, TYPICAL.
- ③ DIAL TYPE PRESSURE GAUGE WITH NEEDLE VALVE GAUGE COCKS.
- ④ 8" HOUSE KEEPING PAD 6" LARGER THAN EQUIPMENT WITH #4 REBAR MAT 8" SPACING EACH DIRECTION REINFORCING, BULL NOSE CORNERS AND BRUSH FINISH.
- ⑤ 8" HOUSE KEEPING PAD 6" LARGER THAN EQUIPMENT WITH 6X6#10 W/M REINFORCING, BULL NOSE CORNERS AND BRUSH FINISH.
- ⑥ CHILLER WITH PRE-WIRED AND PRE-PIPED DUPLEX PUMPS, STRAINER, TRIPLE DUTY VALVE, ETC. AS SPECIFIED.
- ⑦ DIAPHRAM TYPE EXPANSION TANK, 22 GALLON MINIMUM CAPACITY, 11 GALLON ACCEPTANCE, 12 PSIG PRECHARGE, B&G MODEL B-85LA. PRECHARGE PRIOR TO CONNECTION TO SYSTEM. ASME STAMPED 125 PSI REQUIRED.
- ⑧ HIGH CAPACITY AIR VENT EQUAL TO B&G MODEL 107A WITH ISOLATION COCK.
- ⑨ AIR SEPARATION TANK EQUAL TO B&G MODEL R4F.
- ⑩ MAKE UP WATER STATION AS DETAILED.
- ⑪ WELDED ANGLE STEEL STAND. SAND, PRIME, AND PAINT 2 COATS ENAMEL TO MATCH.
- ⑫ CHEMICAL SHOT FEEDER.
- ⑬ BRAIDED STAINLESS STEEL FLEXIBLE CONNECTION.
- ⑭ FILL FUNNEL WITH ISOLATION VALVE.



- ① FULL BORE BALL VALVE, TYPICAL.
- ② STEM TYPE THERMOMETER WITH SEPERABLE SOCKET WELL, TYPICAL.
- ③ 8" HOUSE KEEPING PAD 6" LARGER THAN EQUIPMENT WITH 6X6#10 W/M REINFORCING, BULL NOSE CORNERS AND BRUSH FINISH, TYPICAL.
- ④ HEATING HOT WATER BOILER B-1.
- ⑤ DIAL TYPE PRESSURE GAUGE WITH NEEDLE VALVE GAUGE COCK, TYPICAL.
- ⑥ DIAPHRAM TYPE EXPANSION TANK, 40 GALLON MINIMUM CAPACITY, 27 GALLON ACCEPTANCE, 12 PSIG PRECHARGE, B&G MODEL B-165LA. PRECHARGE PRIOR TO CONNECTION TO SYSTEM. ASME STAMPED 125 PSI REQUIRED.
- ⑦ HIGH CAPACITY AIR VENT EQUAL TO B&G MODEL 107A WITH ISOLATION COCK. EXTEND 3/8" COPPER FROM DISCHARGE TO GRADE.
- ⑧ AIR SEPARATION TANK EQUAL TO B&G MODEL RL-3F.
- ⑨ MAKE UP WATER STATION AS DETAILED.
- ⑩ WELDED ANGLE STEEL STAND. SAND, PRIME, AND PAINT 2 COATS ENAMEL TO MATCH.
- ⑪ CHEMICAL SHOT FEEDER.
- ⑫ MAKE UP WATER.
- ⑬ FILL FUNNEL WITH ISOLATION VALVE.
- ⑭ UNION, TYPICAL.
- ⑮ STRAINER.
- ⑯ HOT WATER CIRCULATING PUMP.
- ⑰ TRIPLE DUTY VALVE EQUAL TO B&G MODEL 3DS-2.
- ⑱ BUTTERFLY VALVE, TYPICAL.

**SMALL PIPE WATER FREEZE PROTECTION**

PROVIDE HEAT TAPE PROTECTION AND INSULATED AS CHILLED WATER ALL MAKE-UP WATER, SHOT FEEDER PIPING, AND OTHER SMALL PIPING ABOVE GRADE SUBJECT TO FREEZING.



**EMI architects**

ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

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FLA #36997

**Florida Department of State  
Division of Historical Resources**

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COUNTY HIGH SCHOOL  
RESTORATION**

MONTECELLO, FLORIDA  
OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

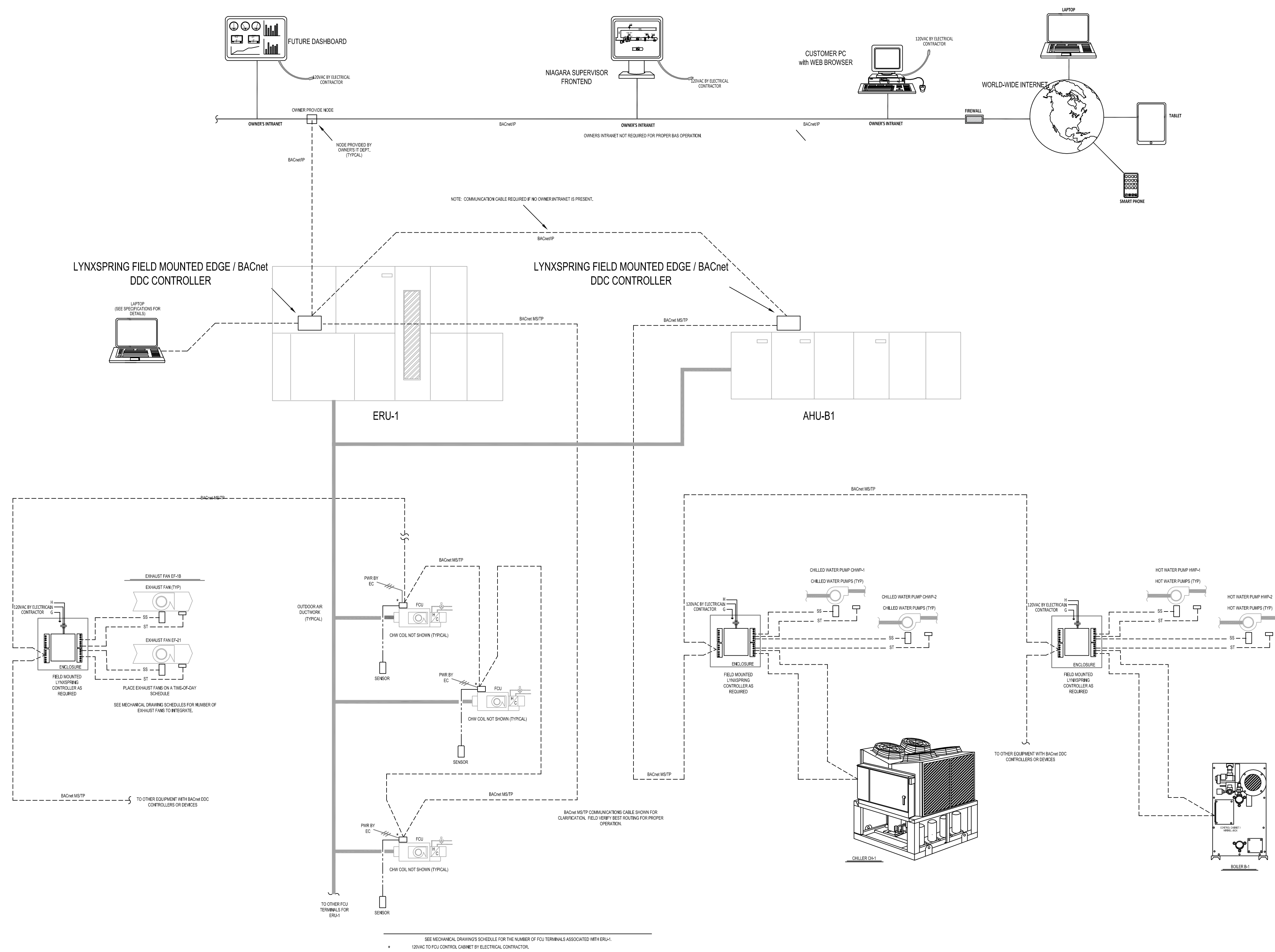
REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS  
DATE  
01 AUGUST 2019  
PROJECT NO  
65000  
DRAWN BY  
REW  
CHECKED BY  
REW

SHEET TITLE  
**MECHANICAL  
DETAILS**  
SHEET NO  
**M301**  
REV NO

TRIDIUM NIAGARA / BUILDING AUTOMATION SYSTEM ARCHITECTURE

(THE TRIDIUM NIAGARA / BUILDING AUTOMATION SYSTEM FOR JCHS SHALL EXTEND ITS COMMUNICATION CAPABILITIES TO INTEGRATE FUTURE HVAC EQUIPMENT AS REQUIRED. SEE MECHANICAL DRAWINGS FOR CONNECTED DEVICES APPLICABLE TO THIS PROJECT)



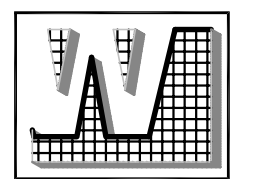
SYSTEM ARCHITECTURE



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

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LICENSE # A-000049 IN 000153

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REV	DATE	DESCRIPTION

PROJECT PHASE  
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DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**MECHANICAL  
CONTROLS**

SHEET NO <b>M401</b>	REV NO
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REV	DATE	DESCRIPTION

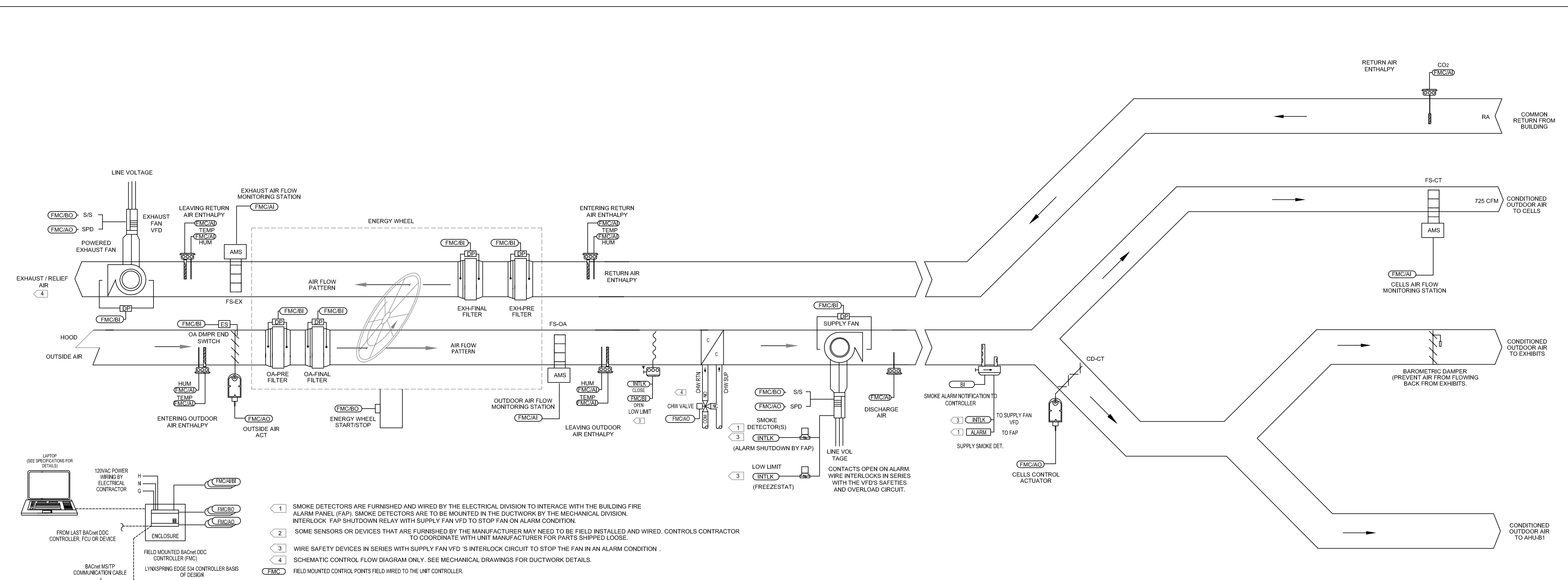
PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE  
01 AUGUST 2019  
DRAWN BY  
REW

PROJECT NO  
65000  
CHECKED BY  
REW

SHEET TITLE  
**MECHANICAL  
CONTROLS**

SHEET NO  
**M402**  
REV NO



**ENERGY RECOVERY UNIT ERU-1**

**ERU-1 SEQUENCE OF OPERATION**

**BUILDING MONITORING SYSTEM INTERFACE:**  
THE TRIDUUM NIAGARA ENTERPRISE SYSTEM, IN CONJUNCTION WITH LYNXSPRING CONTROLS AND DAIKIN HVAC EQUIPMENT, IS THE BUILDING AUTOMATION SYSTEM (BAS) BASIS OF DESIGN. THE BUILDING AUTOMATION SYSTEM (BAS) WILL COMMUNICATE TO THE ERU, AHU AND FCU CONTROLLERS AN OCCUPIED, UNOCCUPIED, OPTIMAL START, NIGHT SETBACK HEAT/COOL, AND TIMED OVERRIDE COMMANDS. IF COMMUNICATION IS LOST WITH THE BAS, OR A BAS IS NOT PRESENT, THE ERU, AHU AND FCU CONTROLLERS SHALL CONTROL TO THE DEFAULT SETTINGS INSTALLED AT COMMISSIONING/START-UP.

**OCCUPIED MODE:**  
DURING OCCUPIED MODE, ERU-1'S OUTDOOR AIR DAMPER SHALL MODULATE TO THE FULLY OPEN POSITION. WHEN THE DAMPER'S END SWITCH IS MADE, CONFIRMING THE OA DAMPER IS FULLY OPEN, THE SUPPLY FAN SHALL START AND RUN CONTINUOUSLY. THE UNIT POWERED EXHAUST FAN SHALL START AND MODULATE TO TRACK THE CFM OF THE SUPPLY FAN, WHICH MODULATES TO MAINTAIN THE CO2 LEVELS WITHIN THE BUILDING FOR PROPER VENTILATION. ANY ASSOCIATED EXHAUST FANS SHALL ALSO BE STARTED. ERU-1'S CHILLED WATER VALVE SHALL MODULATE TO MAINTAIN THE SUPPLY AIR TEMPERATURE SETPOINT OF 55°F (ADJ.).

**IN THE OCCUPIED MODE ERU-1 FANS AND ENTHALPY WHEEL SHALL BE ENERGIZED.**

ERU-1 OUTDOOR AIR SUPPLY FAN SPEED SHALL BE CONTROLLED BY ITS VARIABLE FREQUENCY DRIVE (VFD). THE VFD SHALL LOOK AT THE TWO CO2 SENSORS (ONE IN RETURN TO ERU-1 AND ONE IN RETURN TO AHU-81 FROM COURTROOM AREA) AND MODULATE FAN SPEED BETWEEN MINIMUM SUPPLY VALUE (1383 CFM) AND MAXIMUM SUPPLY VALUE (4275 CFM) BASED ON THE HIGHER OF THE TWO CO2 SENSOR VALUES, MODULATING BETWEEN MINIMUM AND MAXIMUM FLOW BETWEEN 800 PPM AND 1000 PPM MEASURED CO2 CONCENTRATIONS.

ERU-1 EXHAUST FAN SHALL BE CONTROLLED BY ITS VFD. THE VFD SHALL COMPARE THE FLOW VALUES OF FS-OA AND FS-EX AND SHALL MODULATE THE EXHAUST FAN SPEED TO MATCH FS-EX TO FS-OA WITHIN THE MAXIMUM (3093 CFM) AND MINIMUM (1383 CFM) FLOW VALUES ALLOWED.

FS-CT FLOW STATION SHALL MODULATE CONTROL DAMPER CD-CT TO MAINTAIN A CONSTANT FLOW THROUGH FS-CT.

**UNOCCUPIED MODE:**  
IN THE UNOCCUPIED MODE, ERU-1 FANS AND ENTHALPY WHEEL SHALL BE DE-ENERGIZED AND THE OUTDOOR AIR DAMPER SHALL CLOSE AND ANY ASSOCIATED EXHAUST FAN SHALL STOP.

**OCCUPIED / UNOCCUPIED SCHEDULES:**  
EACH PIECE OF EQUIPMENT SHALL HAVE ITS OWN INDEPENDENT TIME OF DAY (TOD) SCHEDULE OR CAN BE ASSIGNED TO A GROUP TO BE STARTED TOGETHER USING A TIME DELAY BETWEEN STARTS FOR ENERGY SAVINGS.

EACH ZONE THAT IS STARTED VIA ITS TOD SCHEDULE OR MANUALLY OVERRIDDEN, THAT REQUIRES SUPPORT FROM THE BUILDING SYSTEMS, I.E., HOT WATER SYSTEM, CHILLED WATER SYSTEMS, AHU-81 AND ERU-1, SHALL CAUSE THE ASSOCIATED SYSTEMS TO START TO SATISFY ANY HEATING OR COOLING DEMANDS.

**FAN OPERATION:**  
THE SUPPLY AND EXHAUST FANS SHALL BE ENABLED WHILE IN THE OCCUPIED MODE ONLY. A FIELD MOUNTED AIR FLOW SENSING SWITCH, MOUNTED ACROSS THE FAN, SHALL MONITOR THE DIFFERENTIAL PRESSURE CREATED BY THE SUPPLY FAN WHILE RUNNING AND SHALL MAKE ITS CONTACT WHEN THE DIFFERENTIAL PRESSURE SETPOINT IS REACHED. IF THE DP SWITCH DOES NOT MAKE WITHIN 40 SECONDS AFTER THE FAN HAS BEEN COMMAND TO RUN, OR OPENS DURING NORMAL OPERATING CONDITIONS, THE SUPPLY FAN SHALL STOP, AND AN ALARM SENT TO THE BAS.

**ENERGY RECOVERY WHEEL OPERATION:**  
THE ENERGY RECOVERY WHEEL SHALL BE STARTED WHEN THE ERU-1 IS IN THE OCCUPIED MODE AND SHALL BE STOPPED WHEN ERU-1 IS IN THE UNOCCUPIED MODE.

WHEN THE OUTDOOR AIR TEMPERATURE IS LESS THAN 55°F, THE WHEEL SHALL EXTRACT WARM AIR FROM THE EXHAUST AIR AND PROVIDE FREE HEATING OF THE OUTDOOR AIR AS IT CROSSES THE WHEEL.

WHEN THE OUTDOOR AIR TEMPERATURE IS ABOVE 75°F, THE WHEEL SHALL EXTRACT COOL AIR FROM THE EXHAUST AIR AND PROVIDE FREE COOLING OF THE OUTDOOR AIR AS IT CROSSES THE WHEEL.

WHEN THE OUTDOOR AIR TEMPERATURE IS BETWEEN 55°F AND 75°F THE WHEEL IS INEFFICIENT AND SHALL BE STOPPED.

**FREEZE PROTECTION:**  
IF THE ENTERING AIR TEMPERATURE TO THE COOLING COIL, DROPS BELOW 35°F FOR THIRTY MINUTES, A UNIT MOUNTED LOW LIMIT (FREEZESTAT) DEVICE SHALL SHUT DOWN THE UNIT'S SUPPLY FAN AND SIGNAL THE UNIT CONTROLLER TO CLOSE THE OUTDOOR AIR DAMPER, OPEN THE CHILLED WATER CONTROL VALVE AND START ITS ASSOCIATED CHILLED WATER PUMP TO PREVENT THE COIL AND ASSOCIATED PIPING FROM FREEZING. ONCE THE OUTDOOR AIR TEMPERATURE INCREASES ABOVE THE FREEZING LEVEL THE UNIT SHALL, RE-ENERGIZE FOR NORMAL OPERATION.

**SMOKE DETECTOR SHUTDOWN:** THE SUPPLY AIR SMOKE DETECTOR SHALL NOTIFY THE BUILDING FIRE ALARM SYSTEM IN RESPONSE TO DETECTING THE PRESENCE OF SMOKE. UPON DETECTION OF SMOKE BY THE DETECTOR, THE ADDRESSABLE RELAY IN THE BUILDING FIRE ALARM SYSTEM SHALL SHUTDOWN THE RTU. THE SMOKE DETECTORS SHALL NOTIFY THE BAS UNIT THROUGH THE DRY CONTACTS OF THE SMOKE DETECTOR. A MANUAL RESET OF THE SMOKE DETECTOR SHALL BE REQUIRED TO RESTART THE UNIT.

**FILTER STATUS:**  
A FIELD MOUNTED DIFFERENTIAL PRESSURE SWITCH SHALL MONITOR THE DIFFERENTIAL PRESSURE ACROSS EACH FILTER SECTION WHILE THE FAN IS RUNNING. IF THE SWITCH CLOSURES ON ANY FILTER DP SWITCH, SET AT 1.0" W.C. (ADJ.), FOR 2 MINUTES, A DIRTY FILTER ALARM SHALL BE ANNUNCIATED AT THE BAS.

SYSTEM POINTS LIST ERU-1 100% OA UNIT																
CONTROLLER: BACnet	POINT TYPE						ALARMS									
	GRAPHIC	HARDWARE INPUT	HARDWARE OUTPUT	BACnet OR SOFTWARE POINT	HARDWARE INTERLOCK	BY CONTROLS CONTRACTOR (C.C.)	NETWORK	DEFAULT VALUE	HIGH ANALOG LIMIT	LOW ANALOG LIMIT	BINARY	LATCH DIAGNOSTIC	SENSOR FAIL	COMMUNICATION FAIL	DIAGNOSTIC	NOTES
TYPICAL FOR ERU-1 WITH ENERGY WHEEL																
ERU-1																
POWERED EXHAUST FAN START/STOP (VFD)	X		BO	X												
POWERED EXHAUST FAN SPEED CONTROL (VFD)	X		AO	X												
EXHAUST CFM (AFMS)	X	AI		X				X	X						SENSOR FAILURE	
POWERED EXHAUST FAN STATUS	X	BI	X		X						X					NOTE 2
EXHAUST AIR PRE-FILTER	X	BI	X								X					
EXHAUST AIR FINAL-FILTER	X	BI	X								X					
RETURN AIR CO2 SENSOR	X	AI		X				X	X						SENSOR FAILURE	
RETURN AIR TEMPERATURE (ENTH)	X	AI		X				X	X						SENSOR FAILURE	
RETURN AIR HUMIDITY (ENTH)	X	AI		X				X	X						SENSOR FAILURE	
RETURN AIR SMOKE DETECTOR ALARM	X	BI	X		X					X	X					S.D. IN O. DRY CONTACT
ENERGY WHEEL ENABLE/DISABLE	X	BO	X								X					
OUTDOOR AIR DAMPER CONTROL	X	AO	X								X					
OUTDOOR AIR FLOW MONITOR CFM	X	AI		X				X	X							
OUTDOOR AIR PRE-FILTER STATUS	X	BI	X								X				SENSOR FAILURE	
OUTDOOR AIR FINAL-FILTER STATUS	X	BI	X								X				SENSOR FAILURE	
OUTDOOR AIR HUMIDITY	X	AI		X				X	X						SENSOR FAILURE	
FREEZESTAT (LOW LIMIT) STATUS	X	BI	X								X					
CHILLED WATER VALVE CONTROL	X	AO	X													
SUPPLY FAN START/STOP (VFD)	X	BO	X								X					
SUPPLY FAN SPEED CONTROL (VFD)	X	AO	X					X	X							
SUPPLY FAN STATUS	X	BI	X								X					NOTE 2
DISCHARGE AIR SENSOR	X	AI		X				X	X						SENSOR FAILURE	
CELL CFM DAMPER CONTROL	X	AO	X													
EXHAUST LEAVING WHEEL TEMPERATURE	X	AI		X				X	X						SENSOR FAILURE	
EXHAUST LEAVING WHEEL HUMIDITY	X	AI		X				X	X						SENSOR FAILURE	
NOTE: CONTROLS CONTRACTOR RESPONSIBLE FOR BACnet, SOFTWARE AND C.C. COLUMN POINTS. PROVIDE OR INTEGRATE AS REQUIRED. SEE CONTROLS DRAWINGS FOR OTHER DETAILS.																
GENERAL NOTES																
NOTE 1: USE AUX CONTACT CLOSURE IN THE SMOKE DETECTOR FOR THE PRESENCE OF SMOKE ALARM IF SPECIFIED.																
NOTE 2: INSTALL A CURRENT SENSING SWITCH IN THE SUPPLY FAN VFD OR STARTER ENCLOSURE FOR POSITIVE PROOF OF AIR FLOW.																
NOTE 3: SEE MECHANICAL DRAWINGS, SCHEDULES OR SPECIFICATIONS FOR REQUIREMENTS AND QUANTITIES OF DEVICES, NUMBER OF HEATING STAGES, ETC.																

NOTE:  
11"x17" SHEETS ARE PLOTTED  
AT 1/2" THE SCALE NOTED ON  
THESE DRAWINGS.

TO UNIT CONTROLLER

- AI SPACE HUMIDITY
- AI SPACE TEMPERATURE
- AI SPACE SETPOINT

ALERTON DIGITAL DISPLAY SPACE TEMPERATURE AND HUMIDITY SENSOR with  
LOCAL SETPOINT ADJ. and OCCUPIED OVERRIDE BUTTONS

**r.e. Walsh Engineering, Inc.**  
3073 Hickory Wind Road, Tallahassee, Florida 32317  
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Roger E. Walsh, P.E.  
FLA #36997

**Florida Department of State  
Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

MONTICELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE  
01 AUGUST 2019

DRAWN BY  
REW

PROJECT NO  
65000

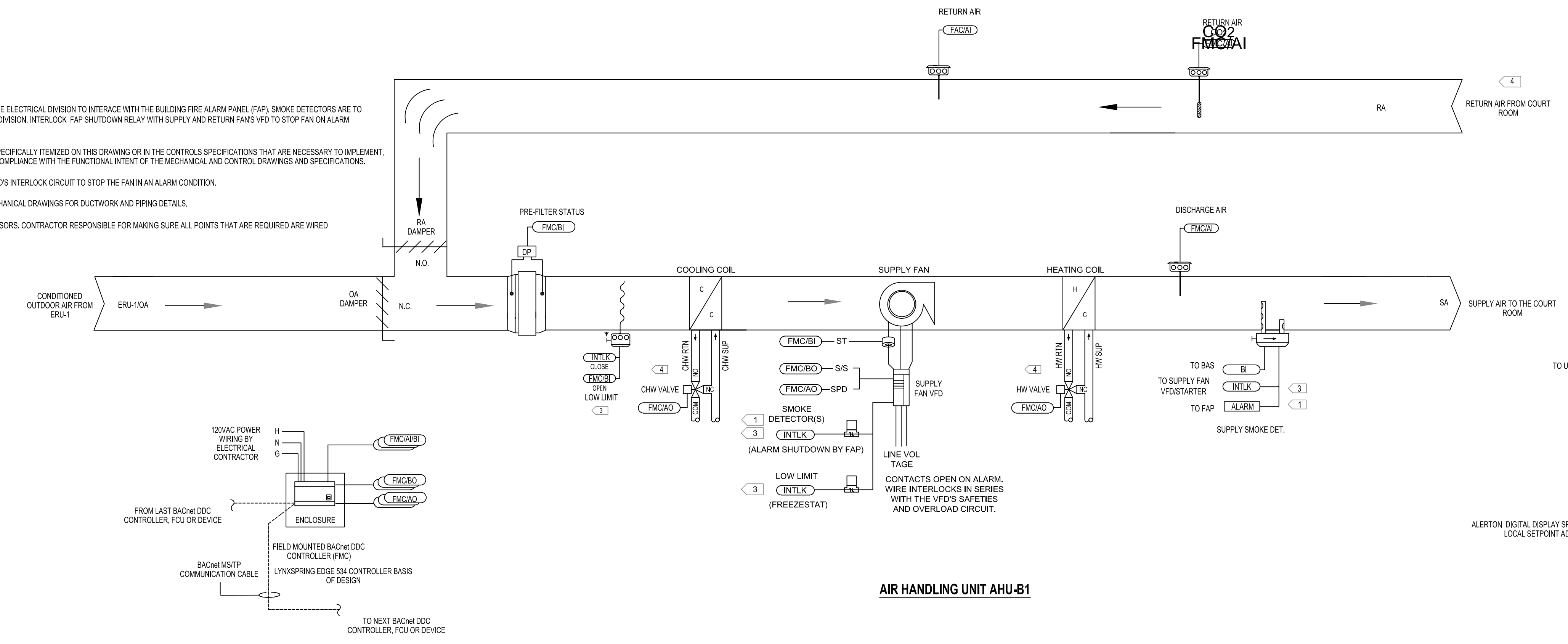
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REW

SHEET TITLE  
**MECHANICAL  
CONTROLS**

SHEET NO  
**M403**

REV NO

- 1 SMOKE DETECTORS ARE FURNISHED AND WIRED BY THE ELECTRICAL DIVISION TO INTERACE WITH THE BUILDING FIRE ALARM PANEL (FAP). SMOKE DETECTORS ARE TO BE MOUNTED IN THE DUCTWORK BY THE MECHANICAL DIVISION. INTERLOCK FAP SHUTDOWN RELAY WITH SUPPLY AND RETURN FAN'S VFD TO STOP FAN ON ALARM CONDITION.
  - 2 CONTRACTOR SHALL INCLUDE ALL ITEMS NOT SPECIFICALLY ITEMIZED ON THIS DRAWING OR IN THE CONTROLS SPECIFICATIONS THAT ARE NECESSARY TO IMPLEMENT, MAINTAIN, AND OPERATE THE SYSTEM IN COMPLIANCE WITH THE FUNCTIONAL INTENT OF THE MECHANICAL AND CONTROL DRAWINGS AND SPECIFICATIONS.
  - 3 WIRE SAFETY DEVICES IN SERIES WITH SUPPLY FAN VFD'S INTERLOCK CIRCUIT TO STOP THE FAN IN AN ALARM CONDITION.
  - 4 SCHEMATIC CONTROL FLOW DIAGRAM ONLY. SEE MECHANICAL DRAWINGS FOR DUCTWORK AND PIPING DETAILS.
- FMC: FIELD MOUNTED CONTROLLER WITH FIELD WIRED SENSORS. CONTRACTOR RESPONSIBLE FOR MAKING SURE ALL POINTS THAT ARE REQUIRED ARE WIRED AND OPERATING CORRECTLY.



**AIR HANDLING UNIT AHU-1**

**AHU-1**

**SEQUENCE OF OPERATION**

**BUILDING MONITORING SYSTEM INTERFACE:**  
THE TRIDIUM NIAGARA ENTERPRISE SYSTEM, IN CONJUNCTION WITH LYNXSPRING CONTROLS AND DAKIN HVAC EQUIPMENT, IS THE BUILDING AUTOMATION SYSTEM (BAS) BASIS OF DESIGN. THE BUILDING AUTOMATION SYSTEM (BAS) WILL COMMUNICATE TO THE ERU, AHU AND FCU CONTROLLERS AN OCCUPIED, UNOCCUPIED, OPTIMAL START, NIGHT SETBACK HEAT / COOL AND THIED OVERRIDE COMMANDS. IF COMMUNICATION IS LOST WITH THE BAS, OR A BAS IS NOT PRESENT, THE ERU, AHU AND FCU'S CONTROLLERS SHALL CONTROL TO THE DEFAULT SETTINGS INSTALLED AT COMMISSIONING/START-UP.

**OCCUPIED MODE:**  
DURING OCCUPIED PERIODS, THE SUPPLY FAN SHALL START AND RUN CONTINUOUSLY AT FULL DESIGN FLOW.

ASSOCIATED SPACE SHALL BE MONITORED BY TEMPERATURE AND HUMIDITY SENSORS. THE COOLING COIL AND HEATING COIL SHALL MODULATE TO MAINTAIN SPACE TEMPERATURE AT SET POINT WITH A 2°F RANGE (ADJUSTABLE) AND A 2°F DEAD BAND (ADJUSTABLE). (EXAMPLE: AT 72°F SET POINT, COOLING 0-100% BETWEEN 72°F AND 74°F RESPECTIVELY, HEATING 0-100% BETWEEN 70°F AND 68°F RESPECTIVELY.) UPON A RISE IN HUMIDITY TO 5% OVER SET POINT, COOLING COIL SHALL MODULATE TO 100% AND HEATING COIL, IN THE REHEAT POSITION, SHALL MODULATE TO MAINTAIN TEMPERATURE UNTIL HUMIDITY IS RETURNED TO SET POINT.

**UNOCCUPIED MODE:**  
IN THE UNOCCUPIED MODE AIR HANDLERS SHALL BE AVAILABLE TO CYCLE BASED ON A CALL FOR HEAT OR COOLING TO MAINTAIN SPACE SET BACK TEMPERATURE AND SPACE HUMIDITY.

ASSOCIATED SPACE SHALL BE MONITORED BY TEMPERATURE AND HUMIDITY SENSORS. UPON A CALL FOR HEATING OR COOLING, THE FAN SHALL ENERGIZE TO ITS MINIMUM FLOW SPEED. THE COOLING COIL AND HEATING COIL SHALL MODULATE TO MAINTAIN SPACE TEMPERATURE AT SET BACK SET POINT WITH A 2°F RANGE (ADJUSTABLE) AND A 10°F DEAD BAND (ADJUSTABLE). (EXAMPLE: AT 76°F SET POINT, COOLING 0-100% BETWEEN 76°F AND 78°F RESPECTIVELY, HEATING 0-100% BETWEEN 66°F AND 64°F RESPECTIVELY.) UPON A RISE IN HUMIDITY TO 5% OVER SET POINT, COOLING COIL SHALL MODULATE TO 100% AND HEATING COIL, IN THE REHEAT POSITION, SHALL MODULATE TO MAINTAIN TEMPERATURE UNTIL HUMIDITY IS RETURNED TO SET POINT.

**OCCUPIED / UNOCCUPIED SCHEDULES:**  
EACH PIECE OF EQUIPMENT SHALL HAVE ITS OWN INDEPENDENT TIME OF DAY (TOD) SCHEDULE OR CAN BE ASSIGNED TO A GROUP TO BE STARTED TOGETHER USING A TIME DELAY BETWEEN STARTS FOR ENERGY SAVINGS.

EACH ZONE THAT IS STARTED VIA ITS TOD SCHEDULE OR MANUALLY OVERRIDEN, THAT REQUIRES SUPPORT FROM THE BUILDING SYSTEMS, I.E., HOT WATER SYSTEM, CHILLED WATER SYSTEMS, AHU-1B AND ERU-1, SHALL CAUSE THE ASSOCIATED SYSTEMS TO START TO SATISFY ANY HEATING OR COOLING DEMANDS.

**OPTIMAL START:**  
THE BAS SHALL MONITOR EACH SCHEDULED OCCUPIED TIME, OCCUPIED SPACE SETPOINT AND SPACE TEMPERATURE AND SHALL COMPARE THE CURRENT VALUES TO THE RECENT HISTORICAL DATA COLLECTED AND CALCULATE WHEN THE OPTIMAL START SHOULD OCCURS.

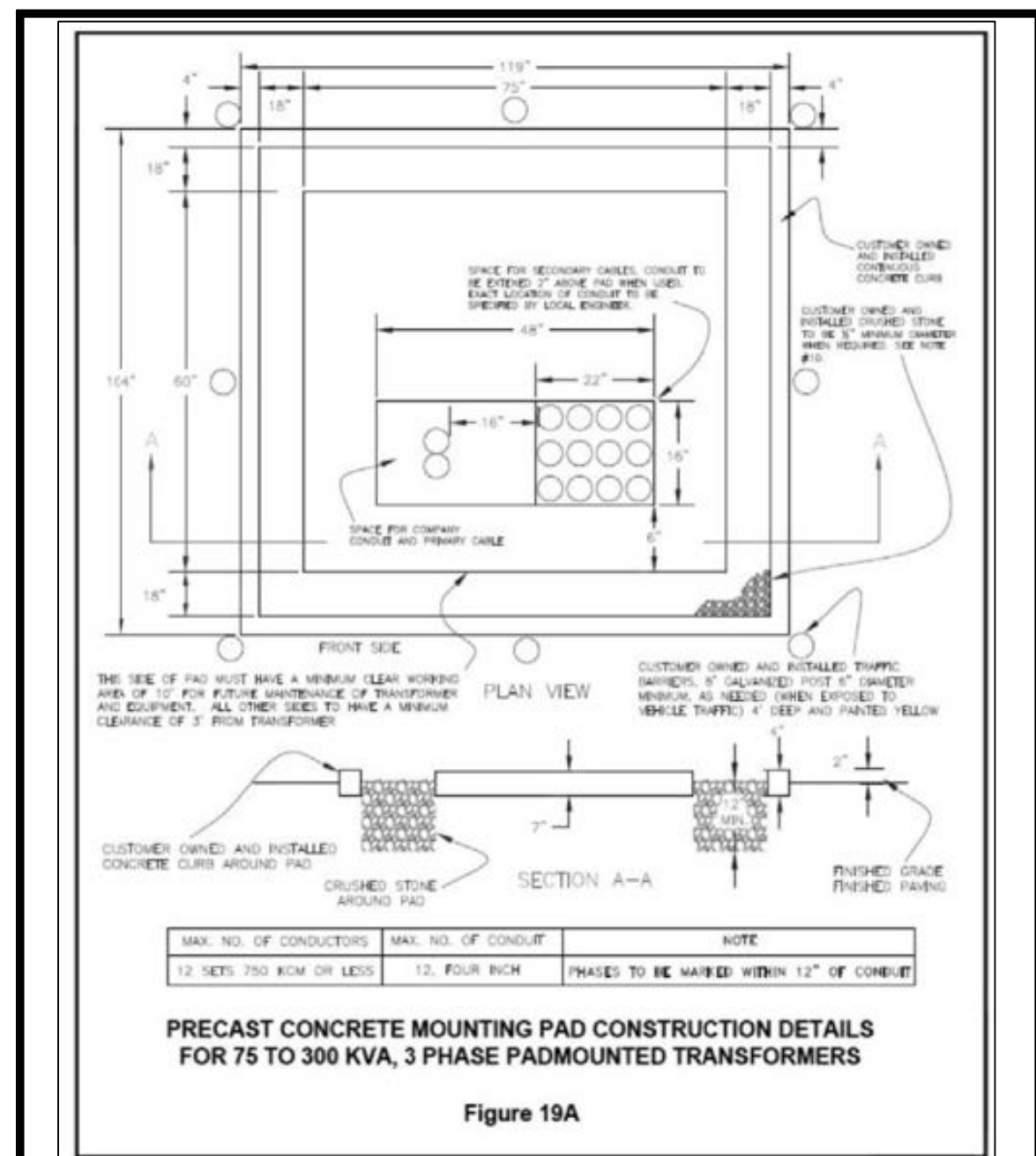
**SMOKE DETECTOR SHUTDOWN:**  
THE SUPPLY AIR SMOKE DETECTOR SHALL NOTIFY THE BUILDING FIRE ALARM PANEL (SYSTEM) IN RESPONSE TO DETECTING THE PRESENCE OF SMOKE. UPON DETECTION OF SMOKE BY THE DETECTOR, THE ADDRESSABLE RELAY FROM THE BUILDING FIRE ALARM SYSTEM SHALL SHUTDOWN THE AHU. THE SMOKE DETECTORS SHALL NOTIFY THE BAS UNIT THROUGH THE DRY CONTACTS OF THE SMOKE DETECTOR. A MANUAL RESET OF THE SMOKE DETECTOR SHALL BE REQUIRED TO RESTART THE UNIT.

**FILTER STATUS:**  
A DIFFERENTIAL PRESSURE SWITCH SHALL MONITOR THE DIFFERENTIAL PRESSURE ACROSS THE FILTER SECTION WHILE THE FAN IS RUNNING. IF THE SWITCH CLOSSES, SET AT 1.0" W.C. (ADJ.), FOR 2 MINUTES, A DIRTY FILTER ALARM SHALL BE ANNUNCIATED AT THE BAS.

CONTROLLER: BACnet		BAS SYSTEM POINTS LIST FOR AHU-1											ALARMS				
SYSTEM POINT DESCRIPTION		POINT TYPE											ALARMS				
AHU-1 SHOWN		GRAPHIC	HARDWARE INPUT	HARDWARE OUTPUT	BACnet OR SOFTWARE POINT	HARDWARE INTERLOCK	BY CONTROLS CONTRACTOR (C.C.)	NETWORK	DEFAULT VALUE	HIGH ANALOG LIMIT	LOW ANALOG LIMIT	BINARY	LATCH DIAGNOSTIC	SENSOR FAIL	COMMUNICATION FAIL	DIAGNOSTICS	NOTES
AHU-1 (SZVAV)																	
GENERAL																	
	SPACE TEMPERATURE	X	AI		X		X			X	X			X		SENSOR FAILURE	NOTE 4
	SPACE TEMPERATURE SETPOINT	X	AI		X		X			X	X			X		SENSOR FAILURE	
	SPACE HUMIDITY	X	AI		X		X			X	X			X		SENSOR FAILURE	
	SUPPLY AIR SMOKE DETECTOR ALARM	X	BI		X	X	X					X	X			S.D. (N.O. CONTACT)	NOTE 1
	OUTDOOR / RETURN AIR DAMPER CONTROL	X		AO	X		X										
	RETURN AIR CO2	X	AI		X		X			X	X			X		SENSOR FAILURE	
	RETURN AIR TEMPERATURE	X	AI		X		X			X	X			X		SENSOR FAILURE	
	RETURN AIR FLOW MONITORING STATION (EBTRON)	X	AI		X		X			X	X			X		SENSOR FAILURE	
	FILTER STATUS	X	BI		X		X					X				DIRTY FILTER	
	CHILLED WATER VALVE CONTROL	X		AO	X		X										NOTE 3
	CHILLED WATER VALVE POSITION (SOFTWARE)	X			X							X					
	FREEZE/STAT (LOW-LIMIT SAFETY)	X	BI		X		X				X						
	SUPPLY FAN START/STOP	X		BO	X		X					X					
	SUPPLY FAN SPEED CONTROL	X		AO	X		X										
	SUPPLY FAN STATUS	X	BI		X		X					X					NOTE 2
	SUPPLY FAN SPEED FEEDBACK	AI		X	X	X	X		X	X			X				
	HOT WATER VALVE CONTROL	X		AO	X		X										NOTE 3
	HOT WATER VALVE POSITION (SOFTWARE)	X			X							X					
	DISCHARGE AIR SENSOR	X	AI		X		X			X	X			X		SENSOR FAILURE	
<b>NOTE: CONTROLS CONTRACTOR RESPONSIBLE FOR BACnet, SOFTWARE AND C.C. COLUMN POINTS. PROVIDE OR INTEGRATE AS REQUIRED. SEE CONTROLS DRAWINGS FOR OTHER DETAILS.</b>																	
<b>GENERAL NOTES</b> NOTE 1: USE AUX CONTACT CLOSURE IN THE SMOKE DETECTOR FOR THE PRESENCE OF SMOKE ALARM IF SHOWN.																	
NOTE 2: INSTALL A CURRENT SENSING SWITCH IN THE SUPPLY FAN VFD OR STARTER ENCLOSURE FOR POSITIVE PROOF OF AIR FLOW.																	
NOTE 3: SEE MECHANICAL DRAWINGS, SCHEDULES OR SPECIFICATIONS FOR REQUIREMENTS AND QUANTITIES OF DEVICES, EQUIPMENT, NUMBER OF HEATING STAGES, ETC.																	
NOTE 4: ALL CONTROLS ARE TO BE FIELD MOUNTED, WIRED AND INTEGRATED INTO THE NEW BAS SYSTEM.																	

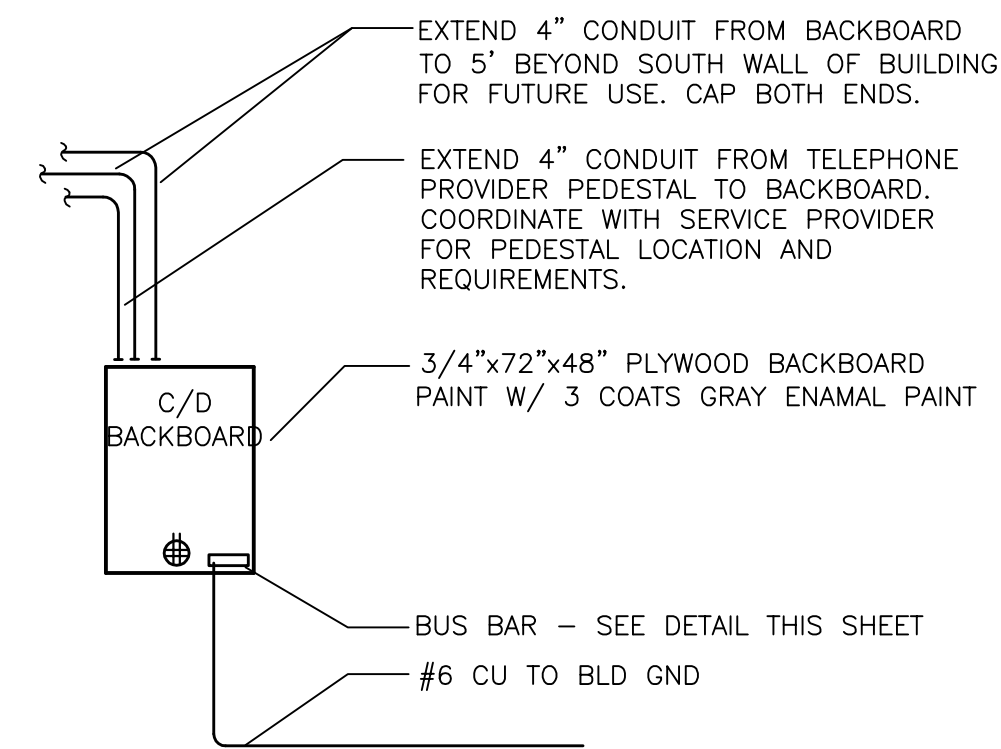




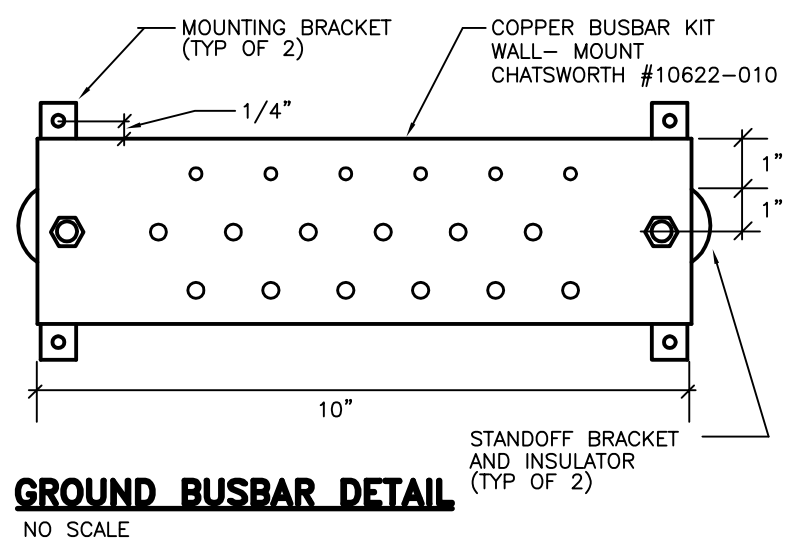


**DUKE POWER TRANSFORMER PAD REQUIREMENTS**

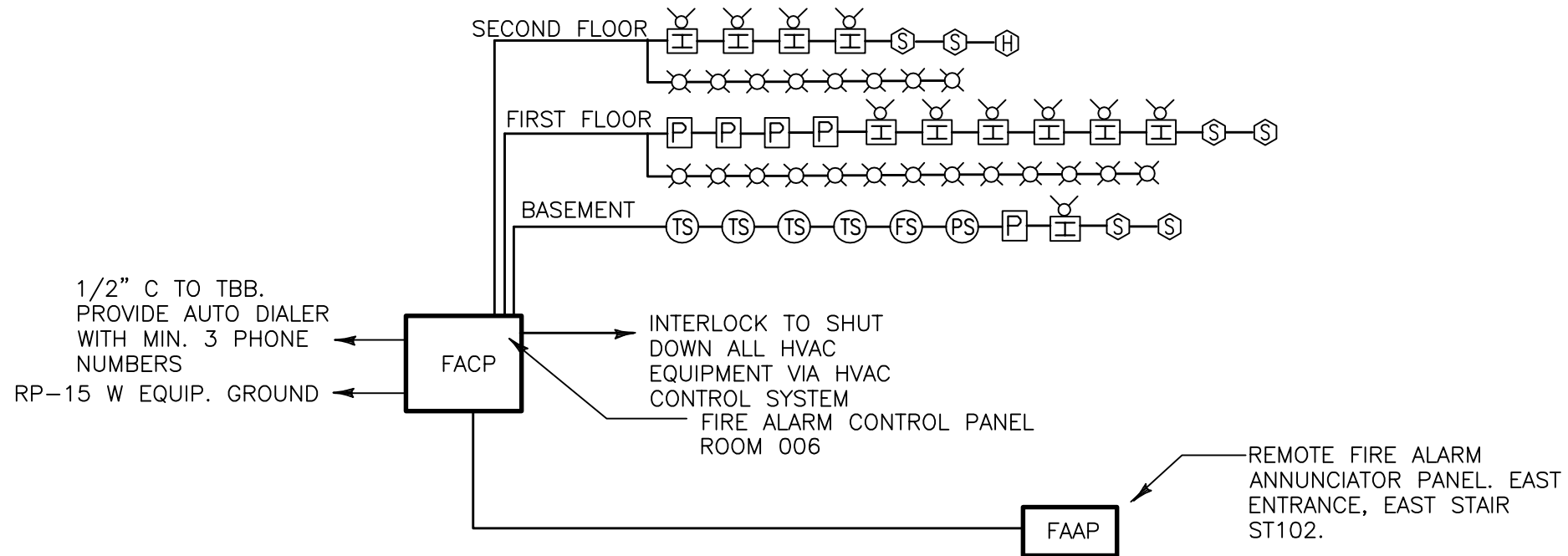
CONTRACTOR SHALL COORDINATE WITH DUKE POWER PRIOR TO BID TO ENSURE ARE ASSOCIATED EXPENSES ARE INCLUDED AND LATEST REQUIREMENTS ARE MET.



**COMM SYSTEMS BACKBOARD**



**GROUND BUSBAR DETAIL**



**FIRE ALARM RISER**

NOT TO SCALE

**GENERAL NOTES**

1. THIS PROJECT IS THE FINAL PHASE OF A PHASED RENOVATION OF THIS HISTORIC BUILDING. IN THIS PHASE THE GOAL IS TO ACHIEVE COMPLETION OF ALL ELECTRICAL WORK FOR A FULLY OPERATIONAL POWER DISTRIBUTION AND LIGHTING SYSTEM.
2. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND DETAILS. THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO BE SCALED.
3. COORDINATE SYSTEMS ROUTING WITH PIPING, HVAC, FIRE SPRINKLER, COMMUNICATIONS AND ELECTRICAL INSTALLATIONS AND WITH BUILDING STRUCTURAL MEMBERS. OFFSET SYSTEMS AND PROVIDE ADDITIONAL BLOCKING AND FRAMING AS REQUIRED TO AVOID CONFLICTS AND INSURE PROPER SYSTEMS INSTALLATION. CONFLICTING WORK NOT COORDINATED WILL BE REMOVED TO THE EXTENT NECESSARY TO ALLOW PROPER INSTALLATION OF ALL SYSTEMS.
4. SEE ARCHITECTURAL DRAWINGS FOR WALL, CEILING, FLOOR AND ROOF CONSTRUCTION AND FIRE RATINGS. WHERE FIRE RATINGS CONFLICTS BETWEEN DRAWINGS THE ARCHITECTURAL SHEETS SHALL RULE.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE FLORIDA BUILDING CODE—BUILDING, FLORIDA BUILDING CODE—PLUMBING, FLORIDA BUILDING CODE—MECHANICAL, ALL 6TH EDITION; NFPA 70, 2014 AND NFPA 72, 2012.
6. DATA AND COMMUNICATIONS SYSTEMS ARE LIMITED TO A BOX AND CONDUIT SYSTEM UNDER THIS CONTRACT. DATA AND COMMUNICATIONS SYSTEMS PROPER WILL BE PROVIDED AND INSTALLED BY OTHERS. WHERE DATA/COMMUNICATIONS OUTLETS ARE INDICATED A SINGLE GANG BOX SHALL BE PROVIDED 18" ABOVE THE FLOOR, OR AT COUNTER TOP LEVEL WHERE PRESENT UNLESS NOTED OTHERWISE, WITH A 1" CONDUIT EXTENDED TO AN ACCESSIBLE ATTIC OR CRAWL SPACE WITH NOT MORE THAN 270 DEGREES OF BEND TOTAL BETWEEN PULL POINTS, TERMINATE WITH BUSHING. PROVIDE A PULL STRING. ADDITIONAL CONDUITS SHALL BE PROVIDED WHERE CALLED FOR ON THE PLANS TO PROVIDE FOR FUTURE EXTENSION OF CABELING BY OTHERS.

**ELECTRICAL LEGEND**

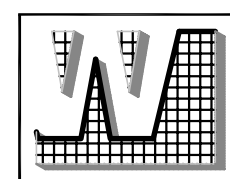
	WALL MOUNT LIGHT FIXTURE		SINGLE POLE TOGGLE SWITCH a - DESIGNATES LIGHT FIXTURE BEING SWITCHED
	CEILING MOUNTED LIGHT FIXTURE		THREE WAY TOGGLE SWITCH
	WALL MOUNTED LIGHT FIXTURE		DIMMER SWITCH
	CEILING MOUNTED LIGHT FIXTURE		AFTER HOURS TIME CLOCK OVERRIDE
	WALL MOUNTED EXIT LIGHT FIXTURE WITH NUMBER OF FACES AND DIRECTIONAL ARROWS AS INDICATED		TOGGLE SWITCH WITH OCCUPANCY SENSOR
	CEILING MOUNTED EXIT LIGHT FIXTURE WITH NUMBER OF FACES AND DIRECTIONAL ARROWS AS INDICATED		TOGGLE SWITCH WITH ELECTRONIC TIMER
	EMERGENCY LIGHTING		PHOTOVOLTAIC SWITCH
	CEILING MOUNTED BOX FOR FUTURE LIGHT FIXTURE		PROPOSED LOCATION FOR SECURITY CAMERA
	FIRE ALARM MANUAL PULL STATION		DUPLEX RECEPTACLE IN FLOOR BOX, HUBBLE AFB51RBASE WITH 1 DUPLEX RECEPTACLE, ARCHITECT SELECTED COVER
	COMBINATION AUDIO/VISUAL FIRE ALARM DEVICE		DUPLEX RECEPTACLE
	VISUAL FIRE ALARM DEVICE		DOUBLE DUPLEX RECEPTACLE
	CEILING MOUNT SMOKE DETECTOR - A = AUXILIARY CONTACTS		GFI RECEPTACLE
	CARBON MONOXIDE DETECTOR		SPECIAL PURPOSE RECEPTACLE - NEMA RATING AS INDICATED
	HEAT DETECTOR		DUPLEX RECEPTACLE - MOUNT ABOVE COUNTER
	FIRE SPRINKLER SYSTEM FLOW SWITCH		DOUBLE DUPLEX RECEPTACLE - MOUNT ABOVE COUNTER
	FIRE SPRINKLER TAMPER SWITCH		GFI RECEPTACLE - MOUNT ABOVE COUNTER
	FIRE SPRINKLER PRESSURE SWITCH/CHAT DRY PIPE SYSTEM.		PANEL BOARD OR LOAD CENTER
	CEILING MOUNTED OCCUPANCY SENSOR WATTSTOPPER MODEL DT-355		DISCONNECT SWITCH - 3 POLE, 30 AMP, NON-FUSED INDICATED
	FIRE ALARM CONTROL PANEL		FLUSH MOUNTED COMBINATION DUPLEX RECEPTACLE AND COMM/DATA OUTLETS, HUBBLE AFB51RBASE W/1 DUPLEX RECEPT AND TWO DATA PORTS, ARCHITECT SELECTED COVER.
	REMOTE FIRE ALARM ANNUNCIATION PANEL		JUNCTION BOX
	DAT/COMMUNICATIONS OUTLET, SEE GENERAL NOTE 6 SHIELDED CAT-5E FROM C/D ROOM VIDEO OUTLET		HOMERUN TO PANEL
	WEATHERPROOF ABOVE FINISHED FLOOR ABOVE FINISHED GRADE COMMUNICATIONS/DATA LOAD CENTER		WIRE IN CONDUIT CONCEALED, 2#12, 1#12G IN 1/2" CONDUIT UNLESS NOTED OTHERWISE
	ELEVATOR NOTES		WIRE IN CONDUIT UNDERGROUND, 2#12, 1#12G IN 1/2" CONDUIT UNLESS NOTED OTHERWISE
	NEW WORK NOTES		GROUND
	CIRCUIT STATUS COORDINATION NOTE		LOW VOLTAGE
			PUSH BUTTON SWITCH
			MOTOR



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

SULLIVAN MARSHALL JONES P.A. (BME and/or) 251 E. 7TH AVENUE TALLAHASSEE FL 32303 (850) 222-7442 www.sjmi.com

NOTE:  
11"x17" SHEETS ARE PLOTTED AT 1/2" THE SCALE NOTED ON THESE DRAWINGS.



r.e. Walsh Engineering, Inc.  
3073 Hickory Wind Road, Tallahassee, Florida 32317  
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Roger E. Walsh, P.E.  
FLA #36997

Florida Department of State  
Division of Historical Resources

**HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION**  
MONTICELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of County Commissioners**  
MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS  
DATE  
01 AUGUST 2019  
PROJECT NO  
65000

SHEET TITLE  
**ELECTRICAL NOTES LEGEND AND LIGHTING SCHEDULE**

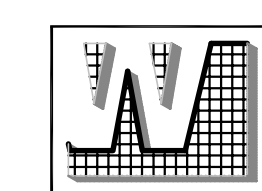
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**E101**  
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**Florida Department of State  
Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

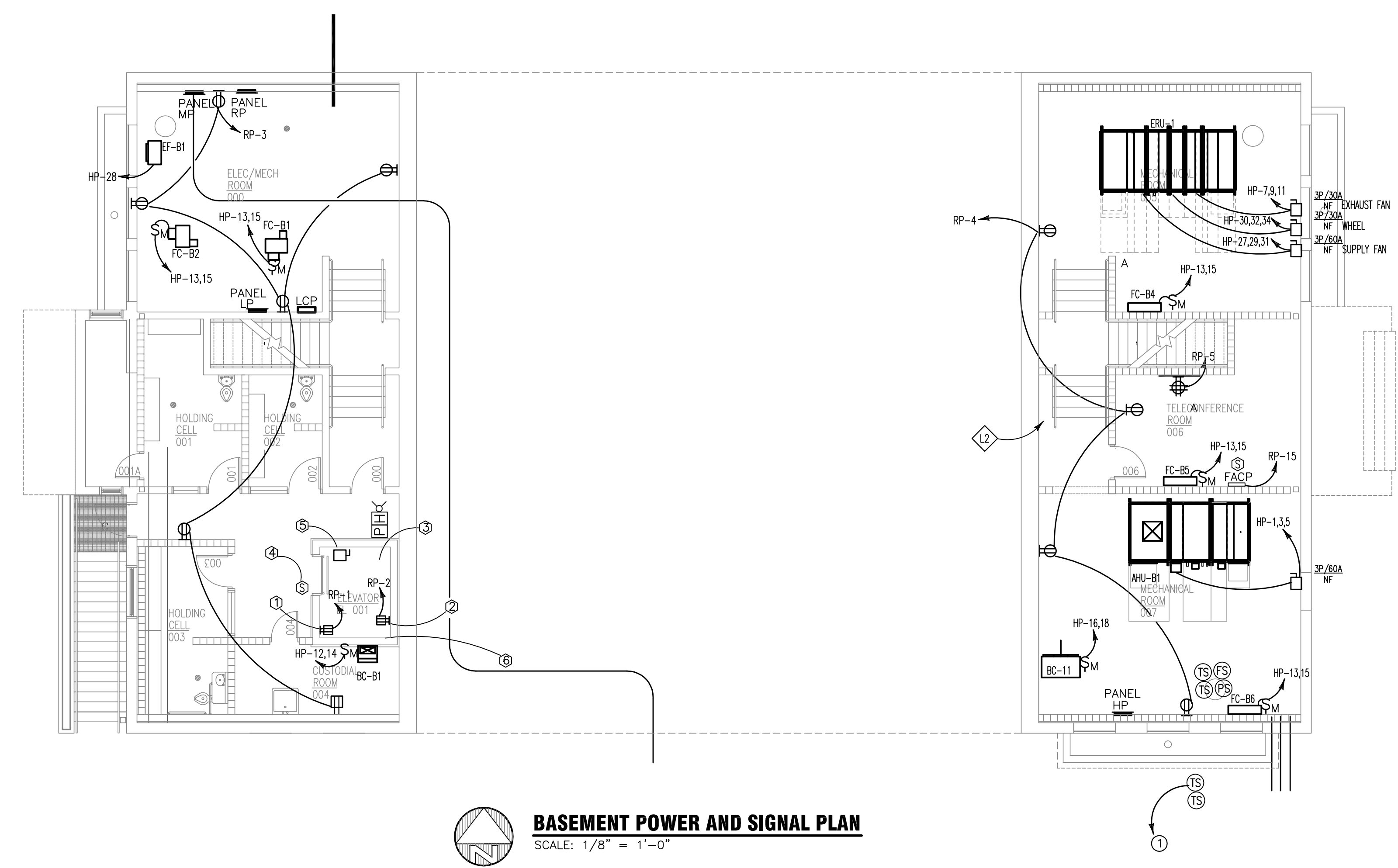
MONTECELLO, FLORIDA  
OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

REV	DATE	DESCRIPTION

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100% CONSTRUCTION DOCUMENTS  
DATE  
01 AUGUST 2019  
DRAWN BY  
REW  
PROJECT NO  
65000  
CHECKED BY  
REW

SHEET TITLE  
**BASEMENT  
POWER & SIGNAL  
PLAN**

SHEET NO  
**E201**  
REV NO



**BASEMENT POWER AND SIGNAL PLAN**  
SCALE: 1/8" = 1'-0"

**ELEVATOR CONTROL ROOM AND SHAFT PIT NOTES:**

- ① PROVIDE GFI RECEPTACLE FOR SUMP PUMP CONNECTION. CIRCUIT RP-1.
- ② PROVIDE GFI RECEPTACLE 30" AFF AND EXTEND CIRCUIT TO RECEPTACLE AT TOP OF SHAFT. CIRCUIT RP-2
- ③ PROVIDE 3 LIGHT FIXTURES IN ELEVATOR PIT AND 1 LIGHT FIXTURE AT THE TOP OF THE ELEVATOR SHAFT ON A COMMON SWITCHED CIRCUIT. PROVIDE SWITCH AT POINT OF PIT ENTRY. SEE LIGHTING PLAN.
- ④ PROVIDE SMOKE DETECTOR WITH AUX. CONTACT FOR USE WITH ELEVATOR CONTROL.
- ⑤ 3-#3 THWN CU & 1-#8 CU GND IN 1" C. PROVIDE 100A/3P HD DISCONNECT FUSED @ 90 AMPS RK-5 WITH REJECTION CLIPS. REFER TO ELEVATOR EQUIPMENT INSTALLATION INSTRUCTIONS FOR POINT OF INSTALLATION.
- ⑥ ALL CONDUIT EXITING ELEVATOR SHAFT SHALL PASS INTO THE EXISTING CRAWL SPACE ONLY.

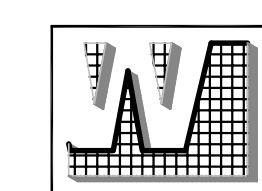
**NEW WORK NOTES:**

- THIS SHEET ONLY
- ① PROVIDE NEW TAMPER SWITCHES AT EXISTING FIRE SPRINKLER BACKFLOW PREVENTER BEYOND FAR SIDE OF THE DRIVEWAY.
  - ② PROVIDE LIGHTLEADER LIGHTING CONTROL PANEL MODEL LL32S WITH RELAY MODEL R40-1-32. PROVIDE NECESSARY DIMMING CARDS MOUNTED IN THE PANEL. PROVIDE 7" PROGRAMMABLE LCD SCREEN IN IN OFFICE 112 AND IN THE COURTRM IN THE LOCATION INDICATED. PANEL AND LCD'S SHALL BE PROGRAMMED PER THE OWNERS DIRECTION.

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NOTE:  
11"x17" SHEETS ARE PLOTTED  
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**r.e. Walsh Engineering, Inc.**  
3073 Hickory Wind Road, Tallahassee, Florida 32317  
Phone (850) 656-3800 C.A.#00009540

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Roger E. Walsh, P.E.  
FLA #36997

**Florida Department of State  
Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

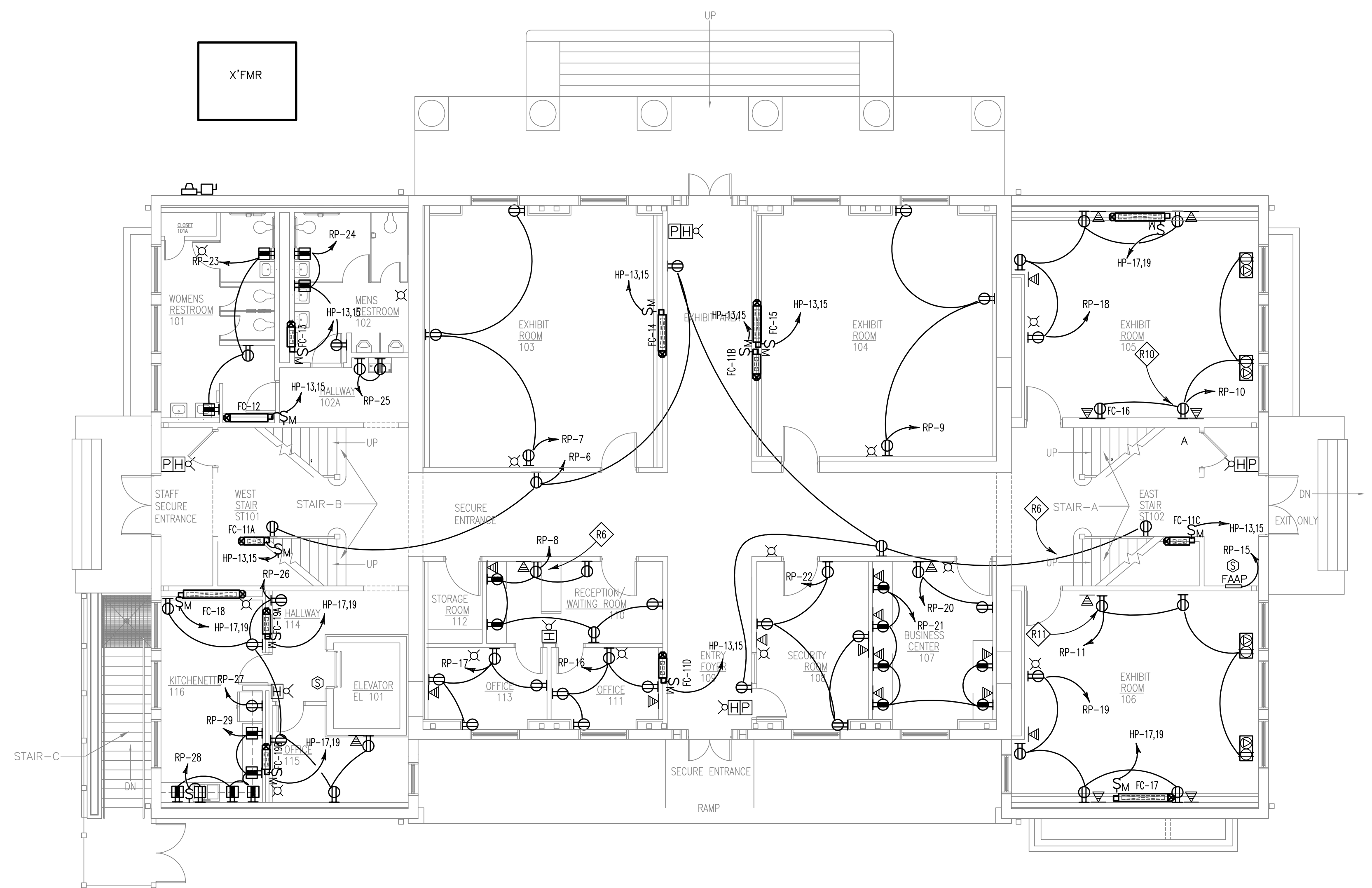
MONTECELLO, FLORIDA  
OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

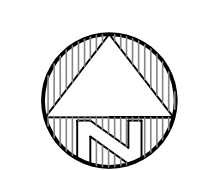
REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS  
DATE  
01 AUGUST 2019 DRAWN BY  
REW  
PROJECT NO  
65000 CHECKED BY  
REW

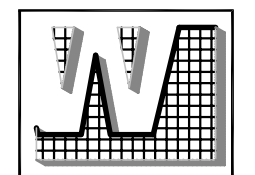
SHEET TITLE  
**FIRST FLOOR  
POWER AND SIGNAL  
PLAN**

SHEET NO  
**E202** REV NO



 **FIRST FLOOR POWER AND SIGNAL PLAN**  
SCALE: 1/8" = 1'-0"

NOTE:  
11"x17" SHEETS ARE PLOTTED  
AT 1/2" SCALE NOTED ON  
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**Florida Department of State  
Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

MONTECELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

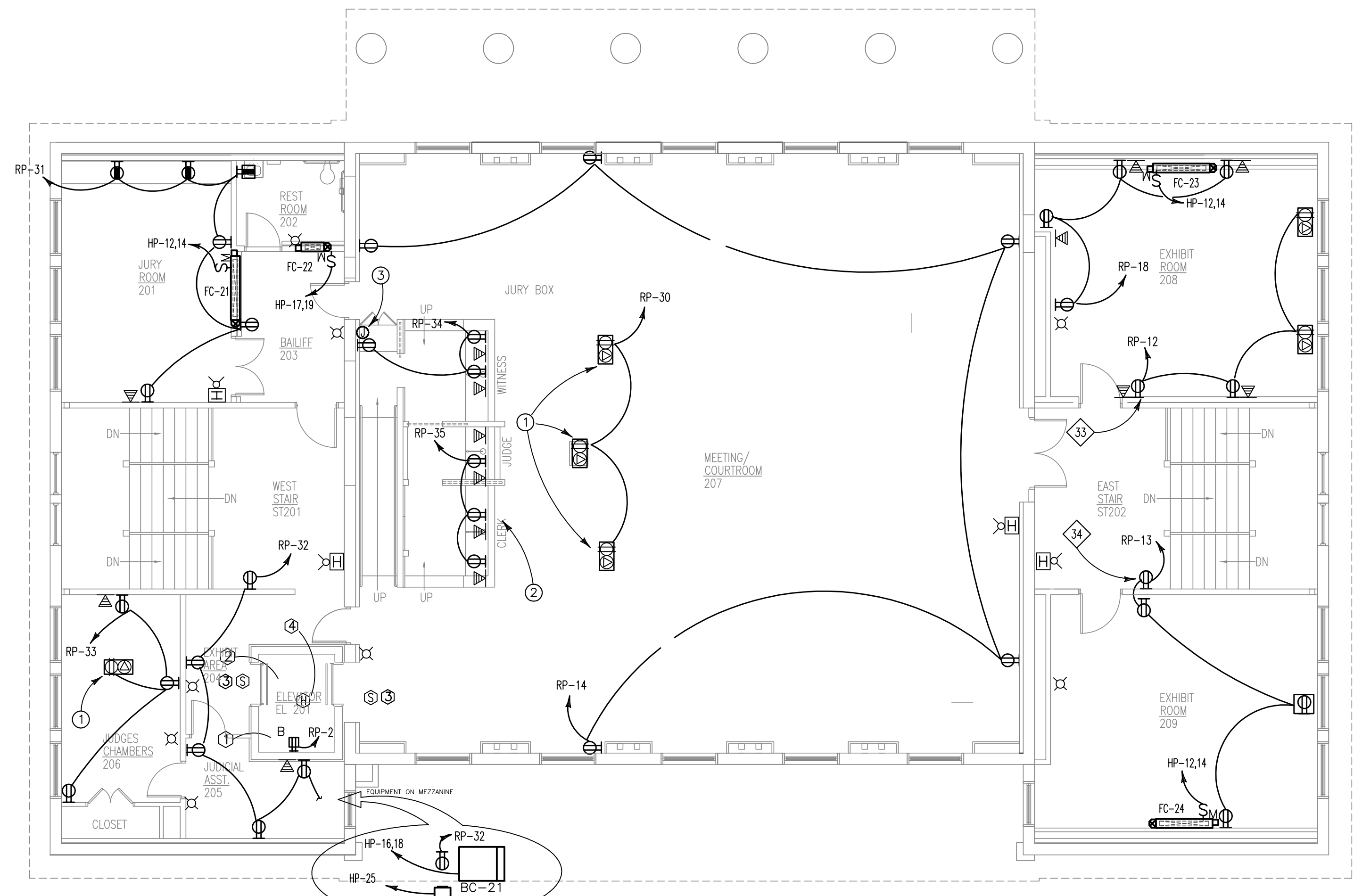
REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**SECOND FLOOR  
POWER AND SIGNAL  
PLAN**

SHEET NO <b>E203</b>	REV NO
-------------------------	--------



**SECOND FLOOR POWER AND SIGNAL PLAN**  
SCALE: 1/8" = 1'-0"

**ELEVATOR TOP OF SHAFT NOTES:**

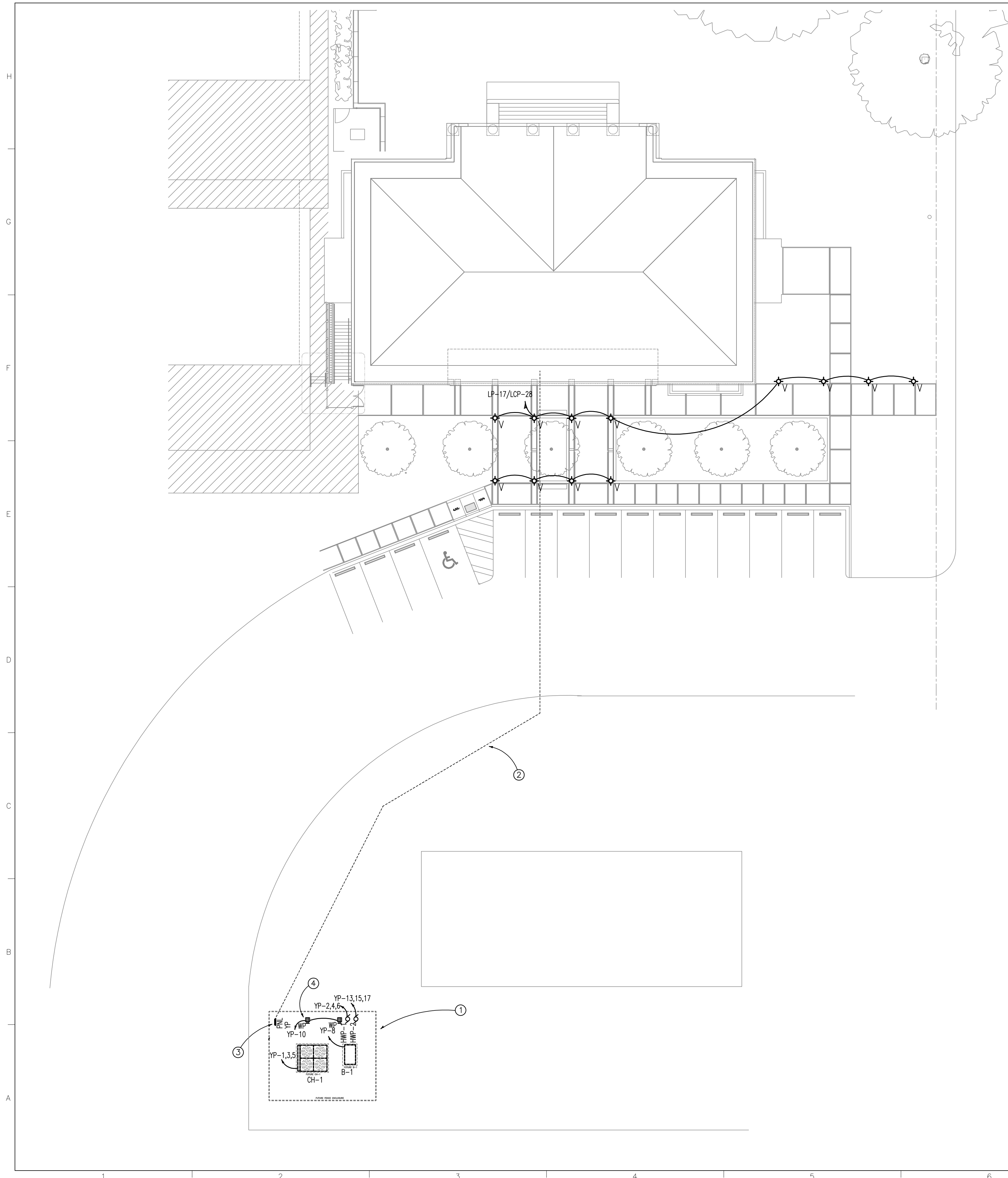
- ① PROVIDE LIGHT FIXTURE AND GFI RECEPTACLE ON SIDE WALL. UPPER LIGHT TO BE SWITCHED WITH LIGHTS TO BE PROVIDED IN ELEVATOR PIT. RECEPTACLE TO SHARE CIRCUIT WITH RECEPTACLE IN ELEVATOR PIT.
- ② EXTEND DEDICATED CIRCUIT FOR CAB LIGHTING FROM PANEL CKT LP-8. COORDINATE WITH ELEVATOR INSTALLATION INSTRUCTION FOR CONNECTION TO ELEVATOR.
- ③ PROVIDE SMOKE DETECTOR WITH AUX. CONTACT FOR USE WITH ELEVATOR CONTROL.
- ④ PROVIDE 135 DEG F, 120 VAC HEAT DETECTOR. CONNECT TO SHUNT TRIP IN ELEVATOR CIRCUIT BREAKER IN PANEL MP. LOCATE DETECTOR WITHIN THREE FEET OF SPRINKLER HEAD.

**NEW WORK NOTES:**

- THIS SHEET ONLY
- ① FIELD VERIFY PLACEMENT WITH ARCHITECT.
  - ② COORDINATE PLACEMENT OF ALL COMPONENTS IN COMMISSIONERS DAIS WITH ARCHITECT.
  - ③ PROVIDE 1-6X6X3" DEEP BOX WITH 2-2" CONDUITS ALONG WITH ONE RECEPTACLE CONCEALED WITHIN THE CASE WORK FOR FUTURE SYSTEM. COORDINATE PLACEMENT WITH ARCHITECT.

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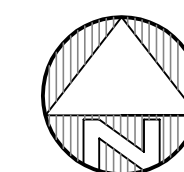
1 2 3 4 5 6 7 8 9



**NEW WORK NOTES:**

THIS SHEET ONLY

- ① CHILLER, BOILER, AND EQUIPMENT ENCLOSURE.
- ② EXISTING 3" CONDUIT BELOW GRADE WITH 1 SPARE 2" CONDUIT AND ONE SPARE 1" CONDUIT. EXTEND 2 SETS 4-250KCMIL THWN AL & 1-#1 AL G IN 3" C
- ③ EXISTING PANEL YP FOR CHILLER, BOILER, AND ASSOCIATED PUMPS, ETC, IN EQUIPMENT YARD.
- ④ RECEPTACLES FOR EQUIPMENT MAINTENANCE AND HEAT TAPE FREEZE PROTECTION. MOUNT ON CONCRETE EMBEDDED GALVANIZED UNISTRUT POST ADJACENT TO AUXILIARY EQUIPMENT PAD 18" ABOVE GRADE.



**ELECTRICAL SITE PLAN**

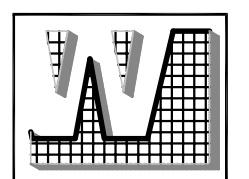
SCALE: 1/16" = 1'-0"



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

ELLIOTT MARSHAL BONES P.A. (E.M.B.)  
251 E. 7TH AVENUE TALLAHASSEE FL 32303  
(850) 222-7442  
www.emibones.com  
LICENSE # AA-C00609 # C000153

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r.e. Walsh Engineering, Inc.  
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FLA #36997

**Florida Department of State  
Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

MONTECELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

REV	DATE	DESCRIPTION

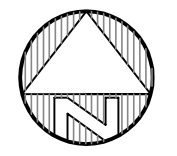
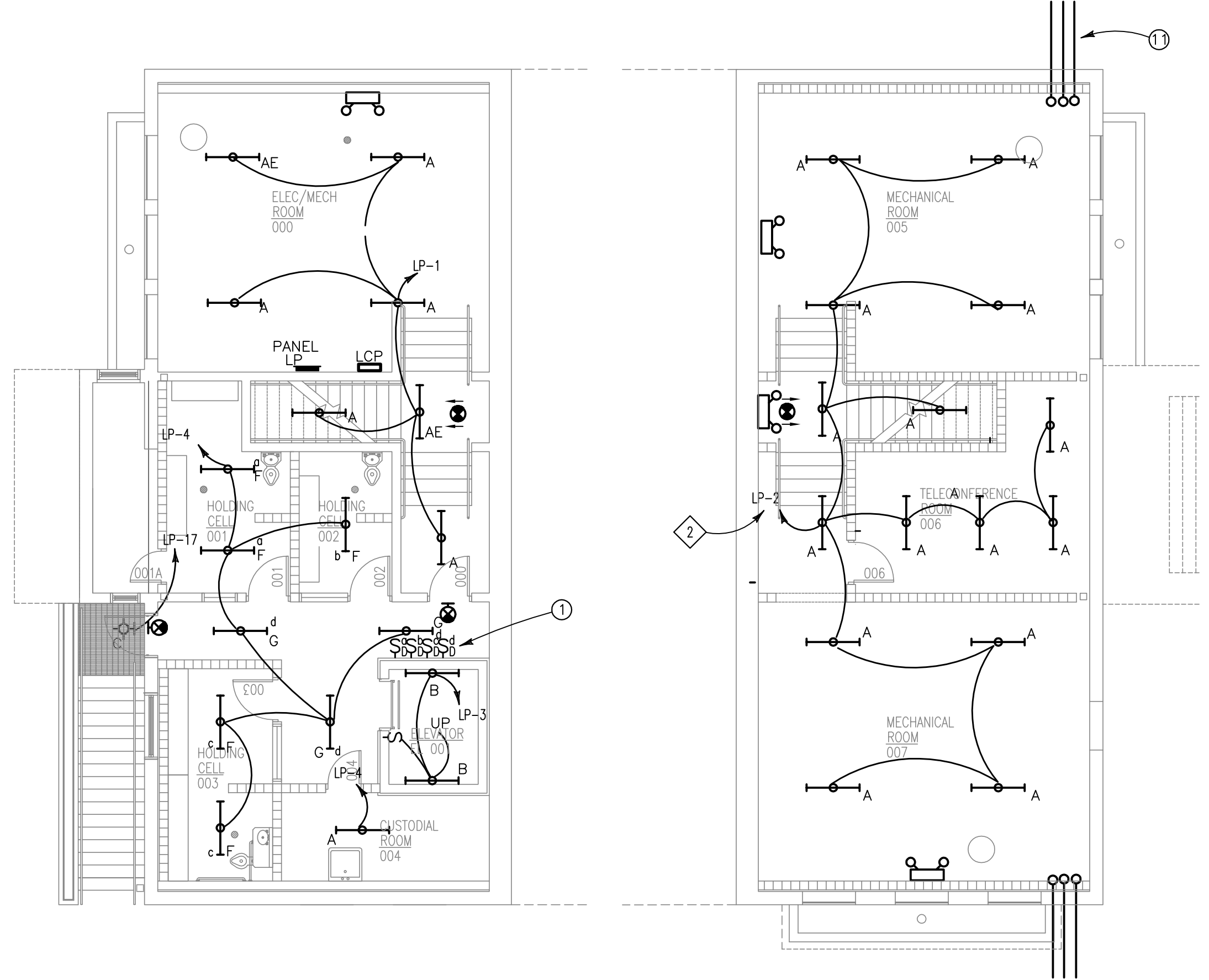
PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**ELECTRICAL  
SITE  
PLAN**

SHEET NO <b>E204</b>	REV NO
-------------------------	--------

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**BASEMENT LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"

**NEW WORK NOTES:**

- THIS SHEET ONLY  
① DIMMER SWITCHES FOR DESIGNATED FIXTURE SWITCH LEGS.



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS  
ELLIOTT MARSHALL JONES P.A. (E.M.J.)  
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LIC#02 #A 000607 # 000153

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**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**  
MONTICELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commisssonioners**  
MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION

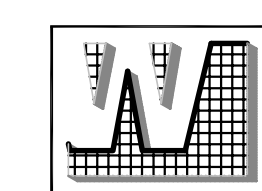
PROJECT PHASE 100% CONSTRUCTION DOCUMENTS	
DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**BASEMENT FLOOR  
LIGHTING  
PLAN**

SHEET NO <b>E205</b>	REV NO
-------------------------	--------

1 2 3 4 5 6 7 8 9

NOTE:  
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Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

MONTECELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commisssioners**  
MONTECELLO, FLORIDA

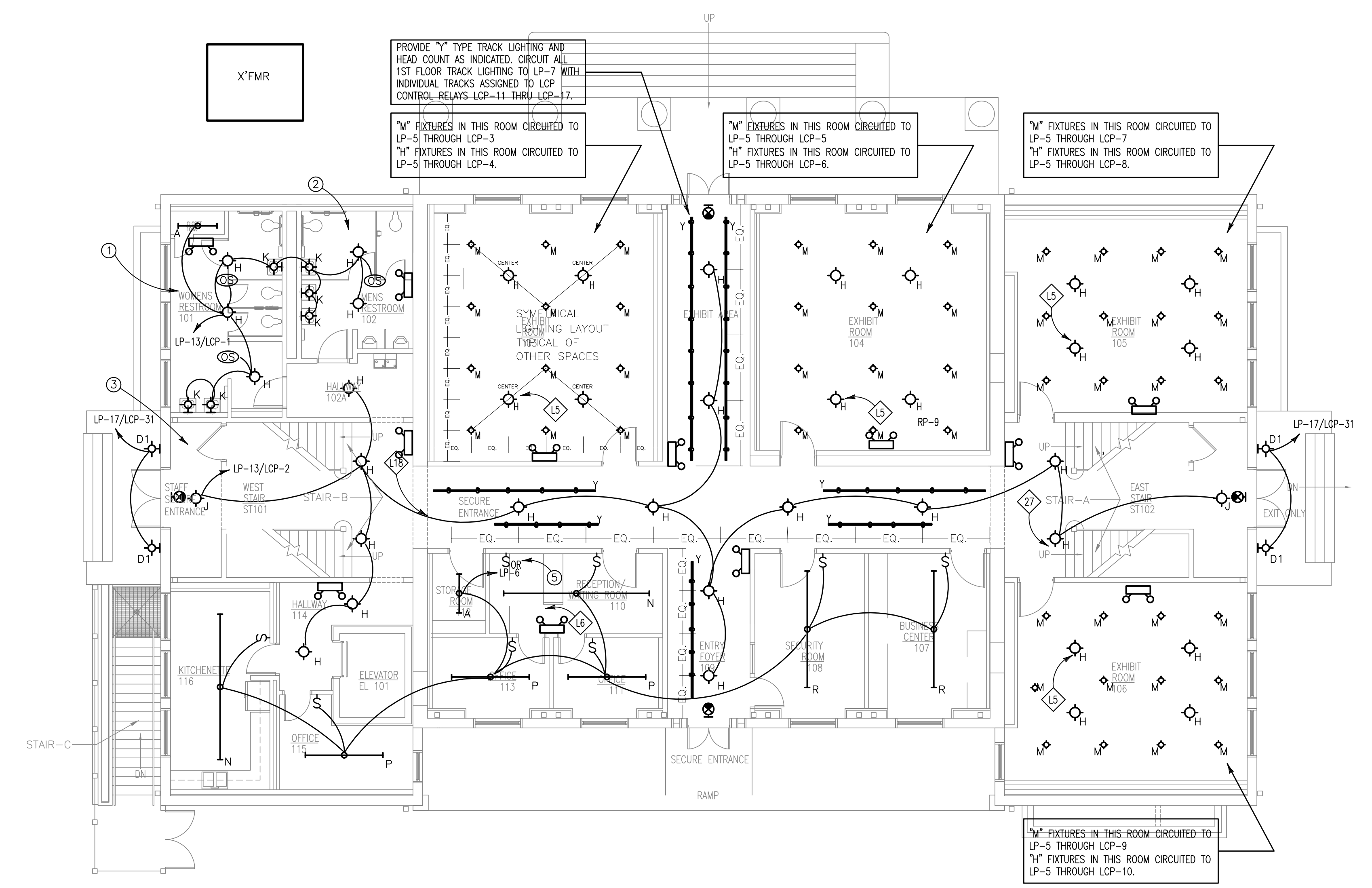
REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**FIRST FLOOR  
LIGHTING  
PLAN**

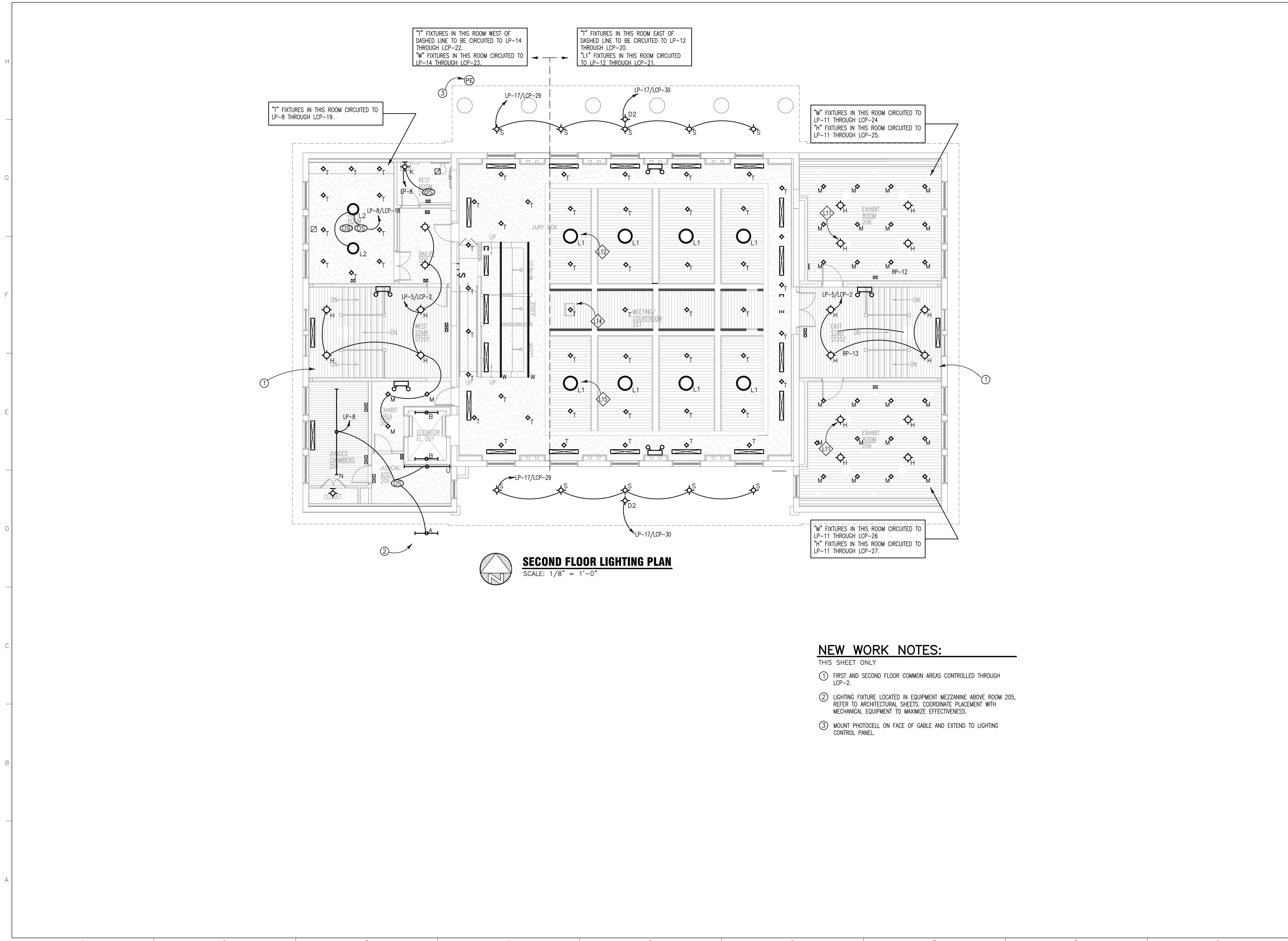
SHEET NO <b>E206</b>	REV NO
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**FIRST FLOOR LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"

**NEW WORK NOTES:**

- THIS SHEET ONLY
- 1 WOMENS TOILET FIXTURES CONTROLLED THROUGH LCP-1 AND DUAL OCCUPANCY SENSORS WIRED IN PARRALLEL.
  - 2 MENS TOILET FIXTURES CONTROLLED THROUGH LCP-1 AND OCCUPANCY SENSOR.
  - 3 FIRST AND SECOND FLOOR COMMON AREAS CONTROLLED THROUGH LCP-2.
  - 4 OFFICES CONTROLLED THROUGH INTEGRAL OCCUPANCY SENSOR AND WALL SWITCH
  - 5 THIS SWITCH OVERRIDES LIGHTING CONTROL PANEL TIME CLOCK TO PLACE BUILDING BACK INTO OCCUPIED MODE FOR A PROGRAMMABLE ADJUSTABLE PERIOD.



**SECOND FLOOR LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"

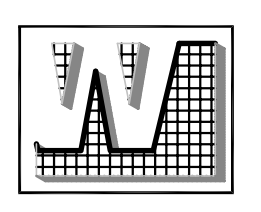
- NEW WORK NOTES:**
- THIS SHEET ONLY
- ① FIRST AND SECOND FLOOR COMMON AREAS CONTROLLED THROUGH LCP-2.
  - ② LIGHTING FIXTURE LOCATED IN EQUIPMENT MEZZANINE ABOVE ROOM 205, REFER TO ARCHITECTURAL SHEETS. COORDINATE PLACEMENT WITH MECHANICAL EQUIPMENT TO MAXIMIZE EFFECTIVENESS.
  - ③ MOUNT PHOTOCELL ON FACE OF GABLE AND EXTEND TO LIGHTING CONTROL PANEL.

**EMI**  
architects

ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

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LIC#02 # A0009637 # C000153

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COUNTY HIGH SCHOOL  
RESTORATION**

MONTECELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

REV	DATE	DESCRIPTION

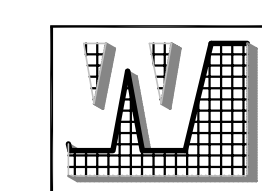
PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**SECOND FLOOR  
LIGHTING  
PLAN**

SHEET NO <b>E207</b>	REV NO
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NOTE:  
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**Florida Department of State  
Division of Historical Resources**

## HISTORIC JEFFERSON COUNTY HIGH SCHOOL RESTORATION

MONTICELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**ELECTRICAL PANELS AND POWER RISER**

SHEET NO <b>E301</b>	REV NO
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### GENERAL NOTES

PANELS ARE EXISTING AS INDICATED. CIRCUITS ARE AT VARIOUS STAGES OF COMPLETENESS AS INDICATED ON THE CIRCUIT CONDUCTOR STATUS SCHEDULES ON SHEET E302. PROVIDE NEW BREAKERS IN EXISTING PANELS WHERE INDICATED IN SCHEDULES BELOW.

EXISTING PANEL: MP												NEMA 1												RATING: 600A, 30C, MCB, 65,000 A.I.C. SERVICE: 120/208V, 3P, 4W. MOUNTING: SURFACE MOUNTED											
CKT NO.	IDENTIFICATION	WIRE	LOAD TYPE CODE	A KVA LOAD	B KVA LOAD	C KVA LOAD	C.B. TRIP AMPS	# OF POLES	# OF TRIP AMPS	A KVA LOAD	B KVA LOAD	C KVA LOAD	LOAD TYPE CODE	WIRE	IDENTIFICATION	CKT NO.																			
1	PANEL HP			8.9			200	3	3	400	36.6					PANEL YP	2																		
3				8.3							36.8						4																		
5				8.7							36.6						6																		
7	PANEL LP			5.2			200	2	-	-					SPACE	8																			
9				4.4							12.4				PANEL RP	10																			
11												11.9				12																			
13	SPACE								3	90	5.8				ELEVATOR (SHUNT TRIP)	14																			
15	SPACE										5.8					16																			
17	SPACE										5.8					18																			
19	TVSS			0.0			60	3							SPACE	20																			
21				0.0											SPACE	22																			
23				0.0											SPACE	24																			
25	SPACE														SPACE	26																			
27	SPACE														SPACE	28																			
29	SPACE														SPACE	30																			

TOTAL CONNECTED LOAD A PHASE: 56.5 KVA  
TOTAL CONNECTED LOAD B PHASE: 67.7 KVA  
TOTAL CONNECTED LOAD C PHASE: 63.0 KVA

SERVES	CONN.LOAD	DF	EST DEM. LOAD
LIGHTS (L)	9.6 KVA	1	9.6 KVA
RECEPTACLES (R)	24.3 KVA	0.5	17.2 KVA
EQUIPMENT (E)	0.0 KVA	0.5	0.0 KVA
HVAC (H)	135.9 KVA	1.0	135.9 KVA
TOTAL	171.9 KVA		162.7 KVA

NOTES:  
1. CONFIRM A.I.C. RATING ON PANELS PRIOR TO BID WITH UTILITY COMPANY AND ADJUST AS NECESSARY.  
\*\* DENOTES NEW BREAKER.

162.7 KVA =>451.6 AMPS @ 208V/3Ø

EXISTING PANEL: LP												NEMA 3R												RATING: 225A, 42C, M.L.O. LOAD CENTER, 10,000A A.I.C. SERVICE: 120/208V, 1Ø, 3W. MOUNTING: SURFACE											
CKT NO.	IDENTIFICATION	A KVA LOAD	B KVA LOAD	C.B. TRIP AMPS	# OF POLES	# OF TRIP AMPS	A KVA LOAD	B KVA LOAD	IDENTIFICATION	CKT NO.																									
1	LIGHTS: BASEMENT WEST	0.3		20A	1P	1P	20A	0.7	BASEMENT EAST: LIGHTS	2																									
3	LIGHTS: ELEV. PIT		0.1	20A	1P	1P	20A	0.2	DETENTION AREA: LIGHTS	4																									
5	LIGHTS: 1ST FL EXHIBIT	1.1		20A	1P	1P	20A	0.6	1ST FL OFFICES: LIGHTS	6																									
7	LIGHTS:CORRIDOR EXHIBIT	0.6		20A	1P	1P	20A	0.5	2ND FLOOR WEST: LIGHTS	8																									
9	SPARE	0.0		20A	1P	1P	20A	0.2	ELEVATOR CAB: LIGHTS	10																									
11	LIGHTS: 2ND FL EXHIBIT	0.6		20A	1P	1P	20A	1.3	COURT EAST: LIGHTS	12																									
13	LIGHTS: 1ST COMMON	1.0		20A	1P	1P	20A	0.5	COURT WEST: LIGHTS	14																									
15	SPARE	0.0		20A	1P	1P	20A	0.0	SPARE	16																									
17	LIGHTS: EXTERIOR	1.0		20A	1P	1P	20A	0.0	SPARE	18																									
19	SPARE	0.0		20A	1P	1P	20A	0.0	SPARE	20																									
21	SPARE	0.0		20A	1P	1P	20A	0.0	SPARE	22																									
23	SPARE	0.0		20A	1P	1P	20A	0.0	SPARE	24																									
25	SPARE	0.0		20A	1P	1P	20A	0.0	SPARE	26																									
27	SPACE								SPACE	28																									
29	SPACE								SPACE	30																									
31	SPACE								SPACE	32																									
33	SPACE								SPACE	34																									
35	SPACE								SPACE	36																									
37	SPACE								SPACE	38																									
39	SPACE								SPACE	40																									
41	SPACE								SPACE	42																									

TOTAL CONNECTED LOAD A PHASE: 5.2 KVA  
TOTAL CONNECTED LOAD B PHASE: 4.4 KVA  
TOTAL CONNECTED LOAD C PHASE: N/A

SERVES	CONN.LOAD	DF	EST DEM. LOAD
LIGHTS (L)	9.6 KVA	1	9.6 KVA
RECEPTACLES (R)	0.0 KVA	0.6	0.0 KVA
EQUIPMENT (E)	0.0 KVA	0.5	0.0 KVA
HVAC (H)	0.0 KVA	1.0	0.0 KVA
TOTAL	9.6 KVA		9.6 KVA

NOTES:  
1. ALL LIGHTING CIRCUITS ARE TO BE EXTENDED THROUGH LIGHTING CONTROL PANEL LCP FOR PROGRAMMABLE CONTROL.

9.6 KVA =>46.1 AMPS @ 208V/1Ø

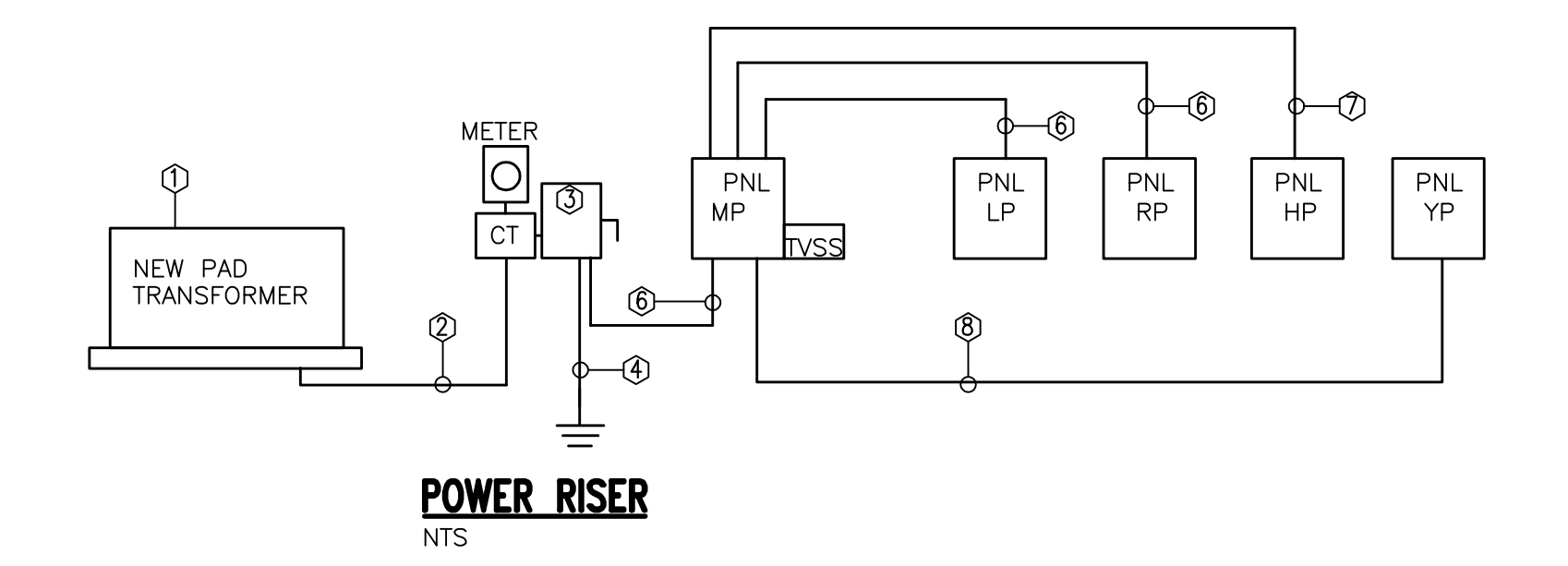
EXISTING PANEL: YP												NEMA 3R												RATING: 400A, 30C, M.L.O,10,000 A.I.C. SERVICE: 120/208V, 3P, 4W. MOUNTING: SURFACE MOUNTED											
CKT NO.	IDENTIFICATION	WIRE	LOAD TYPE CODE	A KVA LOAD	B KVA LOAD	C KVA LOAD	C.B. TRIP AMPS	# OF POLES	# OF TRIP AMPS	A KVA LOAD	B KVA LOAD	C KVA LOAD	LOAD TYPE CODE	WIRE	IDENTIFICATION	CKT NO.																			
1	CHILLER		H	32.2			300	3	3	35	2.1				HWP-1	2																			
3			H	32.2							2.1					4																			
5			H	32.2							2.1					6																			
7	SPARE			0.0			15	3	1	20	0.2		H		BOILER	8																			
9				0.0					1	20*		0.4	R		RECEPTACLE	10																			
11				0.0					1	20		0.2	L		YARD LIGHT	12																			
13	HWP-2		H	2.1			35*								SPACE	14																			
15			H	2.1											SPACE	16																			
17			H	2.1											SPACE	18																			
19	SPACE														SPACE	20																			
21	SPACE														SPACE	22																			
23	SPACE														SPACE	24																			
25	SPACE														SPACE	26																			
27	SPACE														SPACE	28																			
29	SPACE														SPACE	30																			

TOTAL CONNECTED LOAD A PHASE: 36.6 KVA  
TOTAL CONNECTED LOAD B PHASE: 36.8 KVA  
TOTAL CONNECTED LOAD C PHASE: 36.6 KVA

SERVES	CONN.LOAD	DF	EST DEM. LOAD
LIGHTS (L)	0.2 KVA	1	0.2 KVA
RECEPTACLES (R)	0.4 KVA	0.6	0.4 KVA
EQUIPMENT (E)	0.0 KVA	0.5	0.0 KVA
HVAC (H)	109.4 KVA	1.0	109.4 KVA
TOTAL	110.0 KVA		109.4 KVA

NOTES:  
\*\* DENOTES NEW BREAKER.

109.4 KVA =>303.7 AMPS @ 208V/3Ø



### RISER NOTES

- CONTRACTOR SHALL VERIFY AND COORDINATE SERVICE ENTRANCE LOCATION AND REQUIREMENTS WITH UTILITY PRIOR TO BID. CONTRACTOR SHALL PROVIDE OUTSIDE DISCONNECT, TRANSFORMER PAD, CURRENT TRANSFORMERS AND METER BASE PER UTILITY SPECIFICATIONS. PRIMARY SIDE GROUNDING BY UTILITY.
- 3 SETS OF 4-250KCMIL THWN AL IN 3"Ø.
- NEMA 3R 600A 208V 3Ø FUSED DISCONNECT, CLASS R FUSES.
- 2/0 BARE CU - CONNECT TO BUILDING STEEL, METAL WATER LINE AND TO A CONCRETE ENCASED ELECTRODE PER NEC 250-81, AND TO MINIMUM OF THREE 3/4" X 10FT CU CLAD GND RODS DRIVEN IN A TRIANGULAR PATTERN AND SPACED 10FT ON CENTERS. PROVIDE ADDITIONAL GROUND RODS AS NEEDED TO OBTAIN A MAXIMUM OF 5 OHMS TO GROUND.
- 3 SETS OF 4-250KCMIL THWN AL & 1-2/0 AL G IN 3"Ø.
- 3-250KCMIL THWN AL & 1-#4 AL G IN 3"Ø.
- 4-250KCMIL THWN AL & 1-#4 AL G IN 3"Ø.
- 2 SETS 4-250KCMIL THWN AL & 1-#1 AL G IN 3"Ø.

NEW PANEL: RP												NEMA 1												RATING: 225A, 42 C, M.L.O. LOAD CENTER, 10,000A A.I.C. SERVICE: 120/208V, 1Ø, 3W. MOUNTING: SURFACE											
CKT NO.	IDENTIFICATION	B KVA LOAD	C KVA LOAD	C.B. TRIP AMPS	# OF POLES	# OF TRIP AMPS	B KVA LOAD	C KVA LOAD	IDENTIFICATION	CKT NO.																									
1	ELEV. SUMP PUMP	0.2		20	1	1	20	0.4	ELEV. PIT: RECEPT	2																									
3	RECEPT-BASMT WEST	1.0		20	1	1	20	0.6	BASMT EAST: RECEPT	4																									
5	RECEPT: COMM BOARD	0.4		20	1	1	20	1.2	1ST COMMON: RECEPT	6																									
7	RECEPT: RM. 008	0.6		20	1	1	20	1.2	RM 110: RECEPT	8																									
9	RECEPT: RM 104	0.6		20	1	1	20	0.8	RM 105: RECEPT	10																									
11	RECEPT: RM 106	0.8		20	1	1	20	0.6	RM 208: RECEPT	12																									
13	RECEPT: RM 209	0.6		20	1	1	20	0.8	COURT RM: RECEPT	14																									
15	FACTP	0.2		20	1	1	20	0.8	RM 111: RECEPT	16																									
17	RECEPT: RM 113	0.8		20	1	1	20	0.0	RM 105: RECEPT	18																									
19	RECEPT: RM 106	0.8		20	1	1	20	0.4	RM107: RECEPT	20																									
21	RECEPT: RM 107	1.2		20	1	1	20	0.8	RM 108: RECEPT	22																									
23	RECEPT: RM 101	0.6		20	1	1	20	0.6	RM 102: RECEPT	24																									
25	ELEC WATER COOLER	0.4		20	1	1	20	1.2	RMS 115,116: RECEPT	26																									
27	REFRIGERATOR	0.2		20	1	1	20	0.9	DISPOSAL	28																									
29	RECEPT: RM 116	1.0		20	1	1	20	0.6	RM 207 FLOOR: RECEPT	30																									
31	RECEPT: RM 201	0.8		20	1	1	20	1.2	RMS 204,205: RECEPT	32																									
33	RECEPT: RM 206	0.8		20	1	1	20	0.6	COUNCIL BENCH: RECEPT	34																									
35	RECEPT: COUNCIL BENCH	0.6		20	1	1	20		SPACE	36																									
37	SPARE	0.0		20	1	1	20		SPACE	38																									
39	SPARE	0.0		20	1	1	20		SPACE	40																									
41	SPARE	0.0		20	1	1	20		SPACE	42																									

TOTAL CONNECTED LOAD A PHASE: N/A  
TOTAL CONNECTED LOAD B PHASE: 12.4 KVA  
TOTAL CONNECTED LOAD C PHASE: 11.9 KVA

SERVES	CONN.LOAD	DF	EST DEM. LOAD
LIGHTS (L)	0.0 KVA	1	0.0 KVA
RECEPTACLES (R)	24.3	0.6	18.6 KVA
EQUIPMENT (E)	0.0 KVA	0.5	0.0 KVA
HVAC (H)	0.0 KVA	1.0	0.0 KVA
TOTAL	24.3 KVA		18.6 KVA

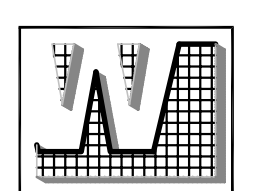
NOTES:  
\*\*\* DENOTES GFCI BREAKER.

18.6 KVA => 89.4 AMPS @ 208V/1Ø

EXISTING PANEL: HP												NEMA 1												RATING: 200A, 42C, M.L.O,10,000 A.I.C. SERVICE: 120/208V, 3P, 4W. MOUNTING: SURFACE MOUNTED											
CKT NO.	IDENTIFICATION	WIRE	LOAD TYPE CODE	A KVA LOAD	B KVA LOAD	C KVA LOAD	C.B. TRIP AMPS	# OF POLES	# OF TRIP AMPS	A KVA LOAD	B KVA LOAD	C KVA LOAD	LOAD TYPE CODE	WIRE	IDENTIFICATION	CKT NO.																			
1	AHU-1	3-#8#10G	H	2.7			50	3	3	15	0.0				SPARE	2																			
3			H	2.7							0.0					4																			
5			H	2.7							0.0					6																			
7	ERU EXHAUST FAN		H	1.1			20	3	2	15	0.0				SPARE	8																			
9			H	1.1							0.0					10																			
11			H	1.1					2	15		0.7	H	FAN COILS	12																				
13	FAN COILS		H	0.8			15	2			0.7		H		14																				
15			H	0.8					2	15		0.8	H	FAN COILS	16																				
17	FAN COILS		H	0.7			15	2			0.8		H		18																				
19			H	0.7					2	15	0.0			SPARE	20																				
21	SPARE			0.0			15	2			0.0			SPARE	22																				
23				0.0					2	15		0.0		SPARE	24																				



NOTE:  
11"x17" SHEETS ARE PLOTTED  
AT 1/2 THE SCALE NOTED ON  
THESE DRAWINGS.



**r.e. Walsh Engineering, Inc.**  
3073 Hickory Wind Road, Tallahassee, Florida 32317  
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Roger E. Walsh, P.E.  
FLA #36997

**Florida Department of State  
Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

MONTECELLO, FLORIDA  
OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

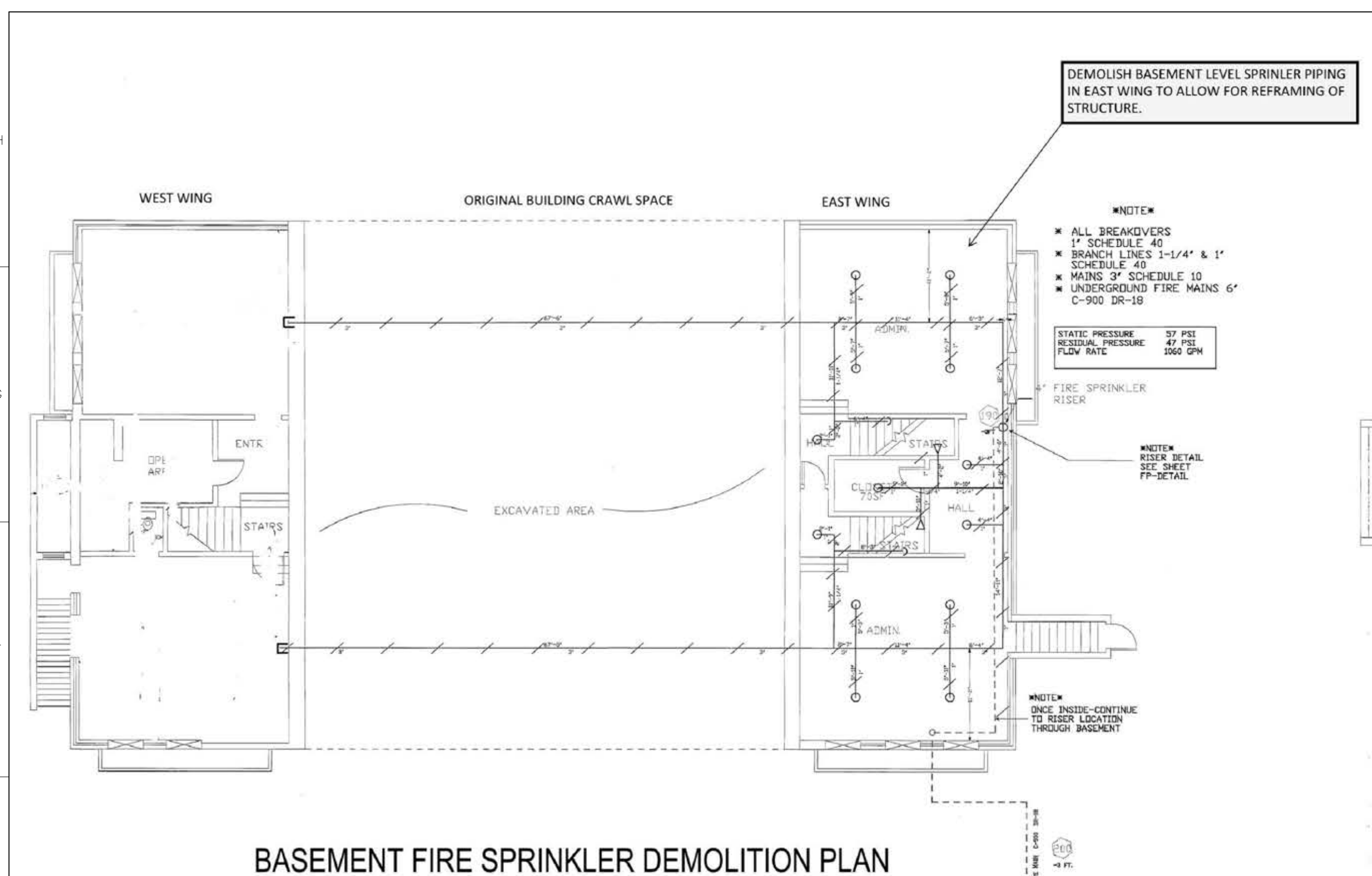
DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE

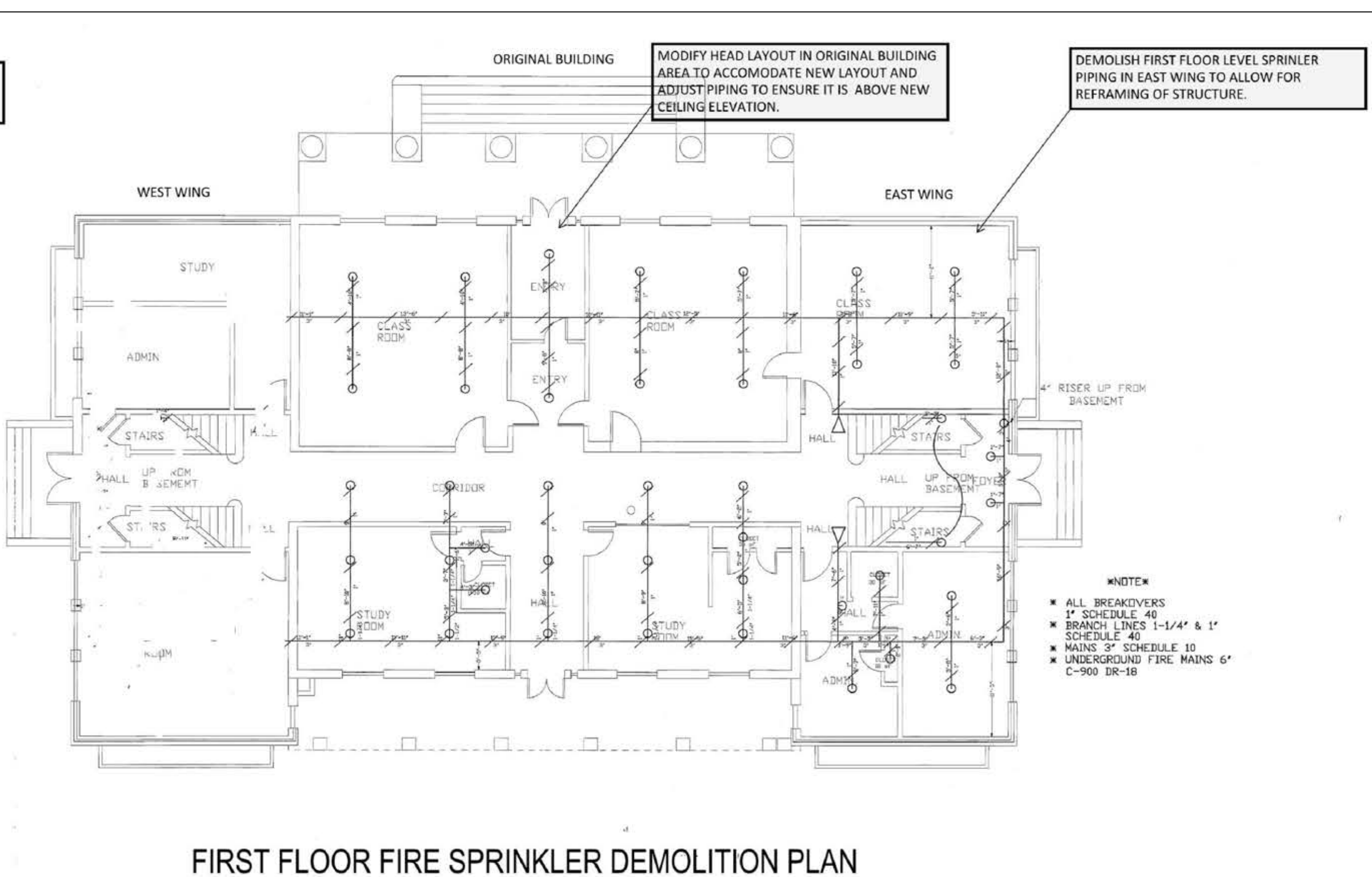
**FIRE SPRINKLER  
DEMOLITION PLAN**

SHEET NO  
**F101**

REV NO



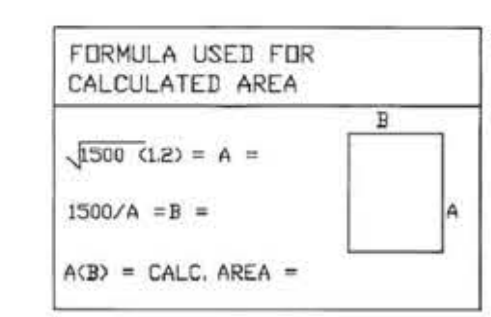
**ATTIC FIRE SPRINKLER DEMOLITION PLAN**



**FIRST FLOOR FIRE SPRINKLER DEMOLITION PLAN**

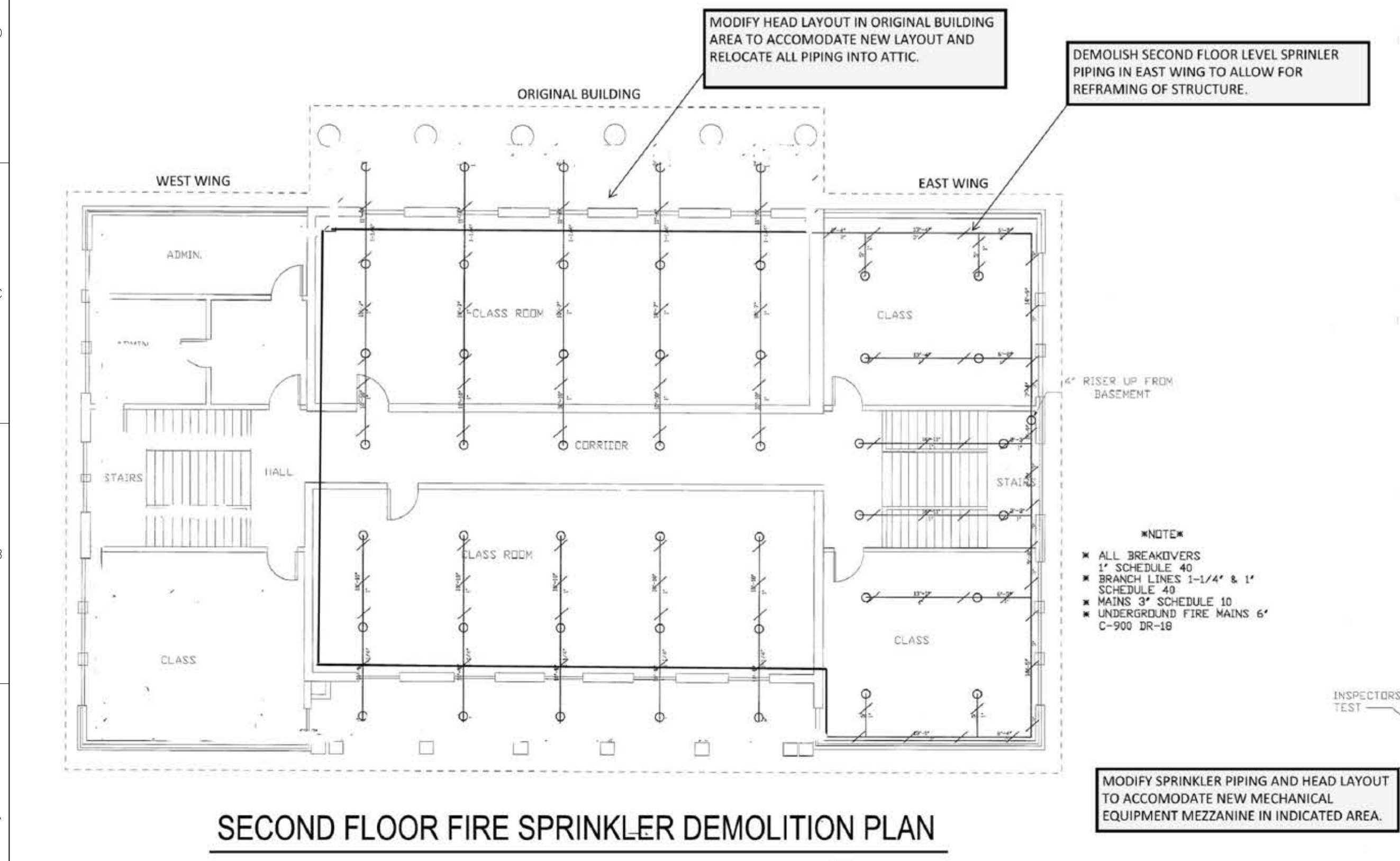
**LEGEND**

- ✓ HANGER SUPPORTS
- CALCULATION NODES
- ▷ SPRINKLER HEADS
- SPRINKLER HEADS

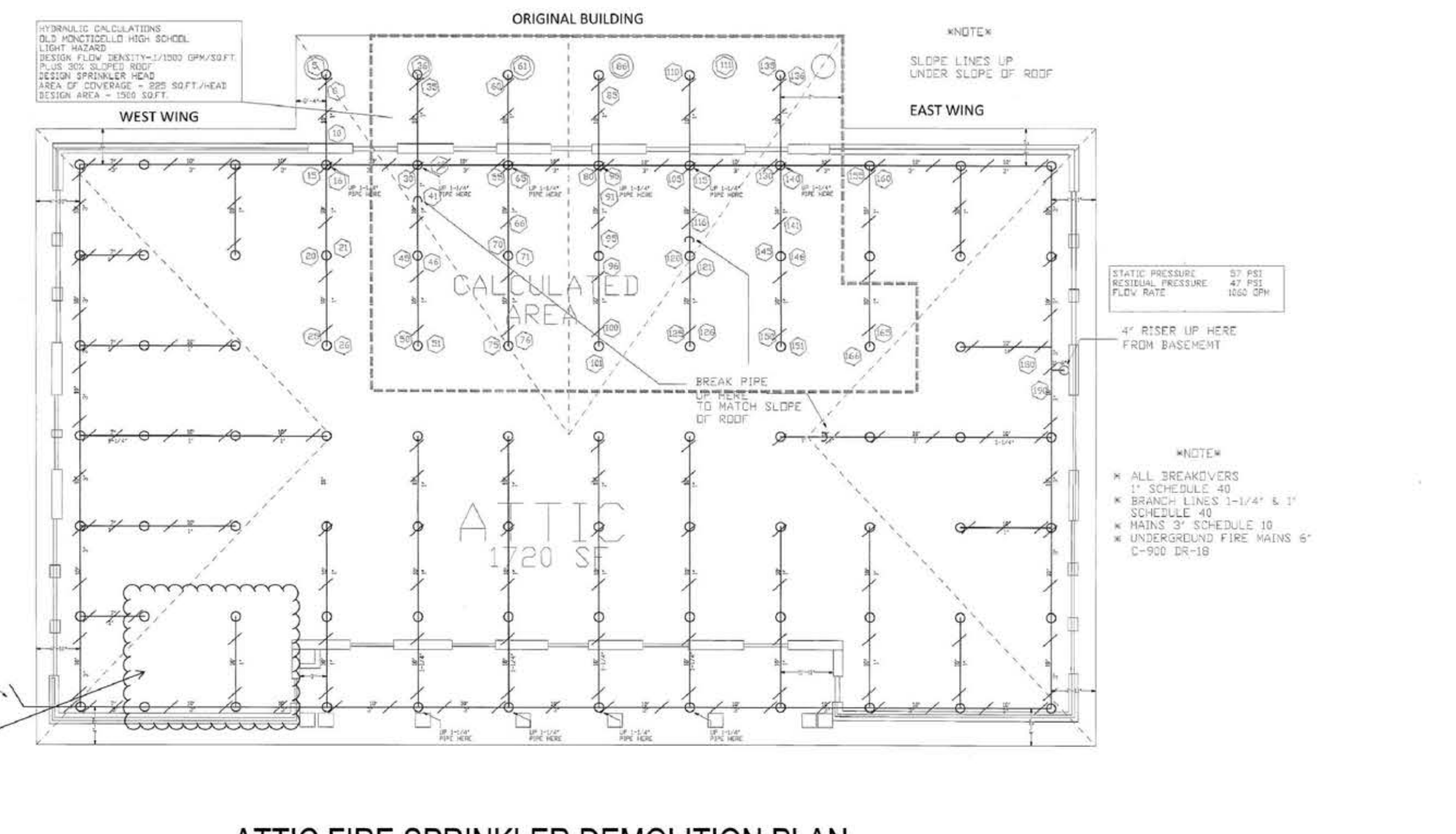


**DOCUMENT DISCLAIMER**

THESE PLANS WERE DEVELOPED FROM RECORD DOCUMENT OF THE ORIGINAL CONSTRUCTION OF THE EXISTING FIRE SPRINKLER SYSTEM. IT IS INCUMBANT UPON THE INTITY DESIGNING THE NEW FIRE SPRINKLER SYSTEM TO VERIFY THE EXISTING CONDITION AS VARIATIONS FROM THIS PLAN MAY EXIST. REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS AS SCALES MAY BE INCORRECT.



**SECOND FLOOR FIRE SPRINKLER DEMOLITION PLAN**

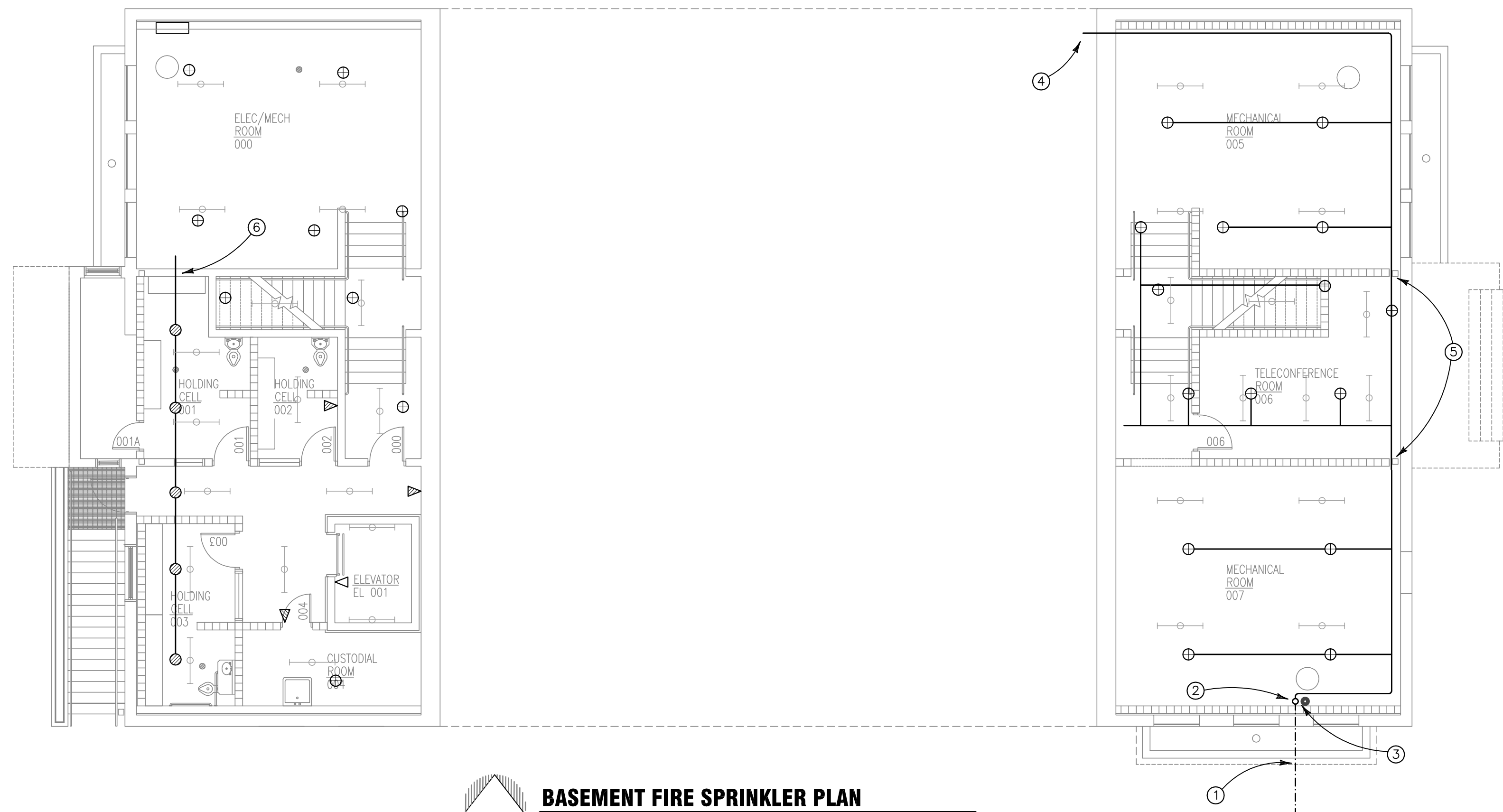


**ATTIC FIRE SPRINKLER DEMOLITION PLAN**

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A



**BASEMENT FIRE SPRINKLER PLAN**  
SCALE: 1/8" = 1'-0"

**NEW WORK NOTES:**

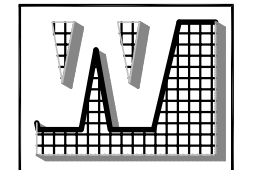
- THIS SHEET ONLY
- ① EXISTING UNDERGROUND FIRE WATER SUPPLY.
  - ② MODIFY EXISTING DRY PIPE RISER TO A COMBINATION DRY/WET PIPE RISER.
  - ③ TURN WET AND DRY PIPE SYSTEMS UP CONCEALED IN WALL ABOVE.
  - ④ WET PIPE DISTRIBUTION TO WEST SIDE.
  - ⑤ PIPE MUST PASS UNDER BOND BEAM.
  - ⑥ TURN PIPE UP ABOVE BOND BEAM AND EXTEND BETWEEN FLOOR JOISTS.



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

ELLIOTT MARSHAL BONES P.A. (EMI architects)  
251 E. 7TH AVENUE TALLAHASSEE FL 32303  
(850) 222 - 7442  
www.emiarch.com  
SICP#2 #1 AA-C09609 # C000153

NOTE:  
11"x17" SHEETS ARE PLOTTED  
AT 1/2 THE SCALE NOTED ON  
THESE DRAWINGS.



r.e. Walsh Engineering, Inc.  
3073 Hickory Wind Road, Tallahassee, Florida 32317  
Phone (850) 656-3800 C.A.#00009540

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Florida Department of State  
Division of Historical Resources

**HISTORIC JEFFERSON  
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RESTORATION**

MONTECELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTECELLO, FLORIDA

REV	DATE	DESCRIPTION

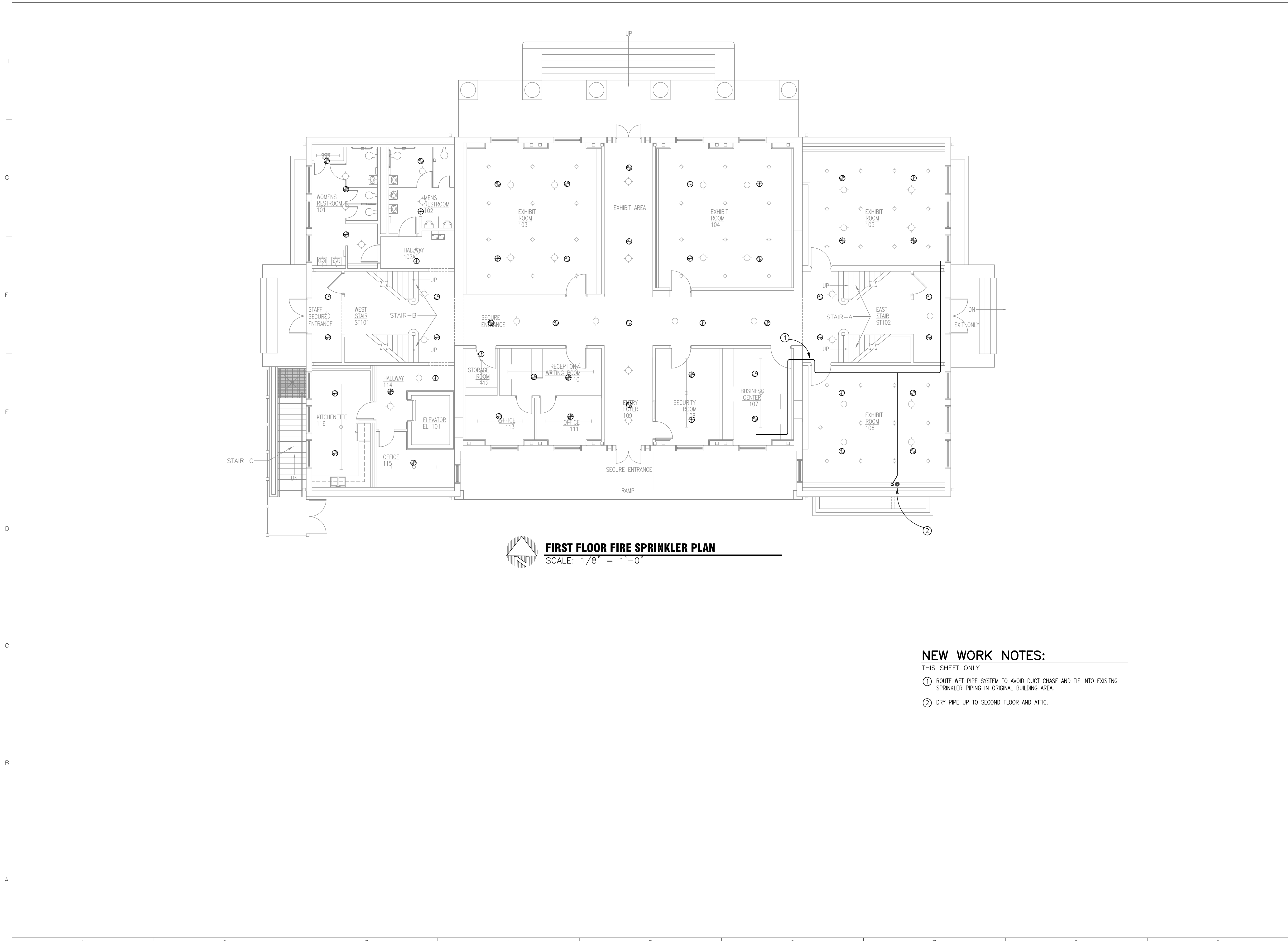
PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**BASEMENT  
FIRE SPRINKLER  
PLAN**

SHEET NO <b>F201</b>	REV NO
-------------------------	--------

1 2 3 4 5 6 7 8 9



**FIRST FLOOR FIRE SPRINKLER PLAN**  
 SCALE: 1/8" = 1'-0"

**NEW WORK NOTES:**

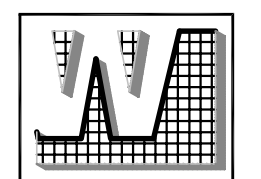
- THIS SHEET ONLY
- ① ROUTE WET PIPE SYSTEM TO AVOID DUCT CHASE AND TIE INTO EXISTING SPRINKLER PIPING IN ORIGINAL BUILDING AREA.
  - ② DRY PIPE UP TO SECOND FLOOR AND ATTIC.



ARCHITECTURE  
 PLANNING INTERIORS  
 GRAPHICS

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 LICENSE # AA-C006409    # C000153

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 RESTORATION**  
 MONTICELLO, FLORIDA

OWNER NAME:  
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 MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION

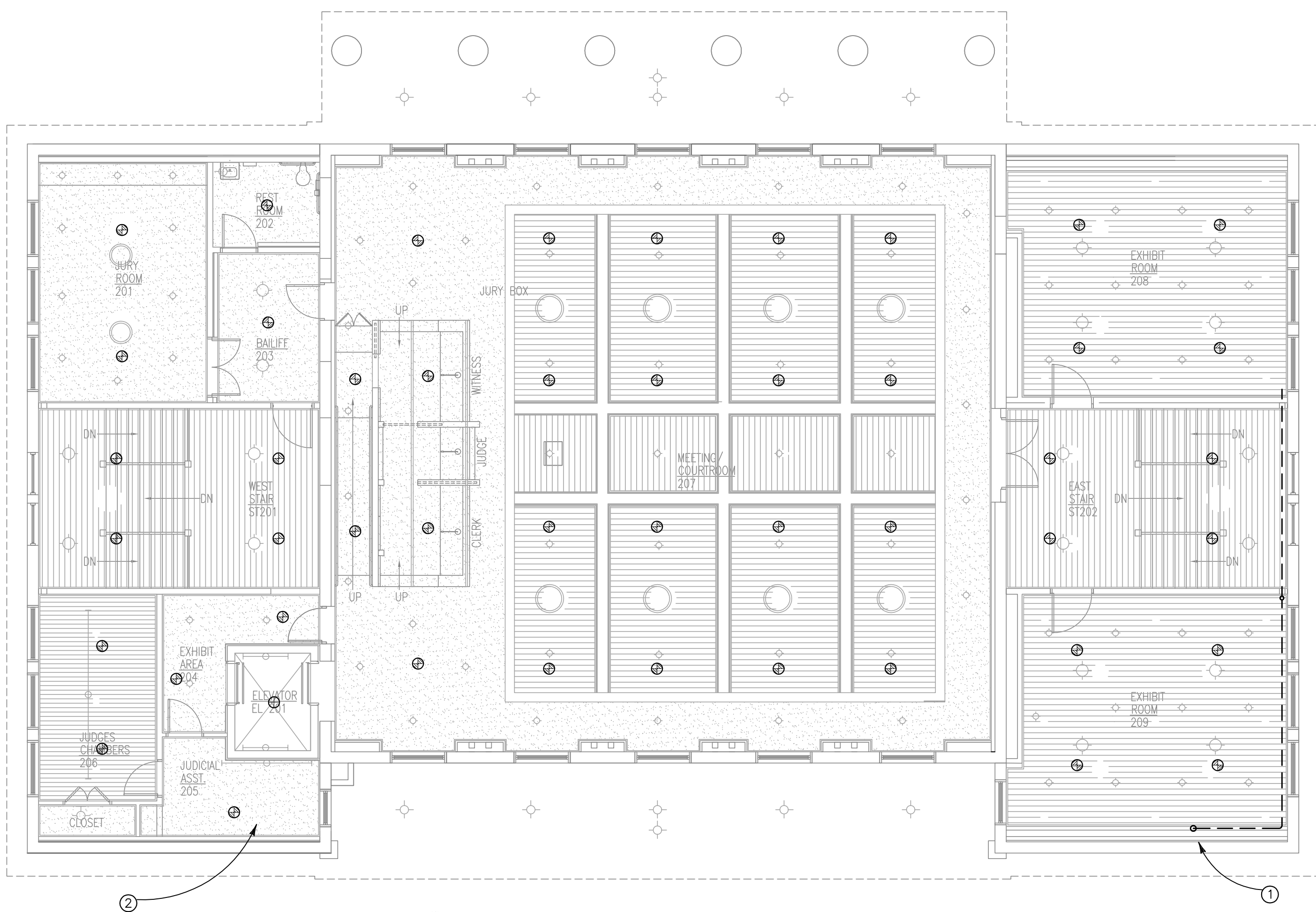
PROJECT PHASE  
 100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**FIRST FLOOR  
 FIRE SPRINKLER  
 PLAN**

SHEET NO <b>F202</b>	REV NO
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A



**SECOND FLOOR FIRE SPRINKLER PLAN**  
SCALE: 1/8" = 1'-0"

**NEW WORK NOTES:**

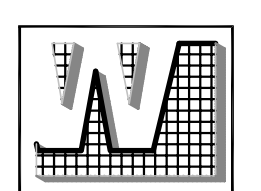
- THIS SHEET ONLY
- ① DRY PIPE UP FROM BELOW CONCEALED IN WALL. EXTEND TO SECOND FLOOR COVERAGE AND CONNECTION TO EXISTING ATTIC SYSTEM. ALL PIPING FOR SECOND FLOOR COVERAGE TO BE EXTENDED IN THE ATTIC.
  - ② MODIFY EXISTING ATTIC SYSTEM IN THIS AREA TO AVOID CONFLICT WITH MECHANICAL EQUIPEM TN AND DUCTS ON NEW EQUIPMENT MEZZANINAE.



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

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RESTORATION**  
MONTICELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissoniers**  
MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

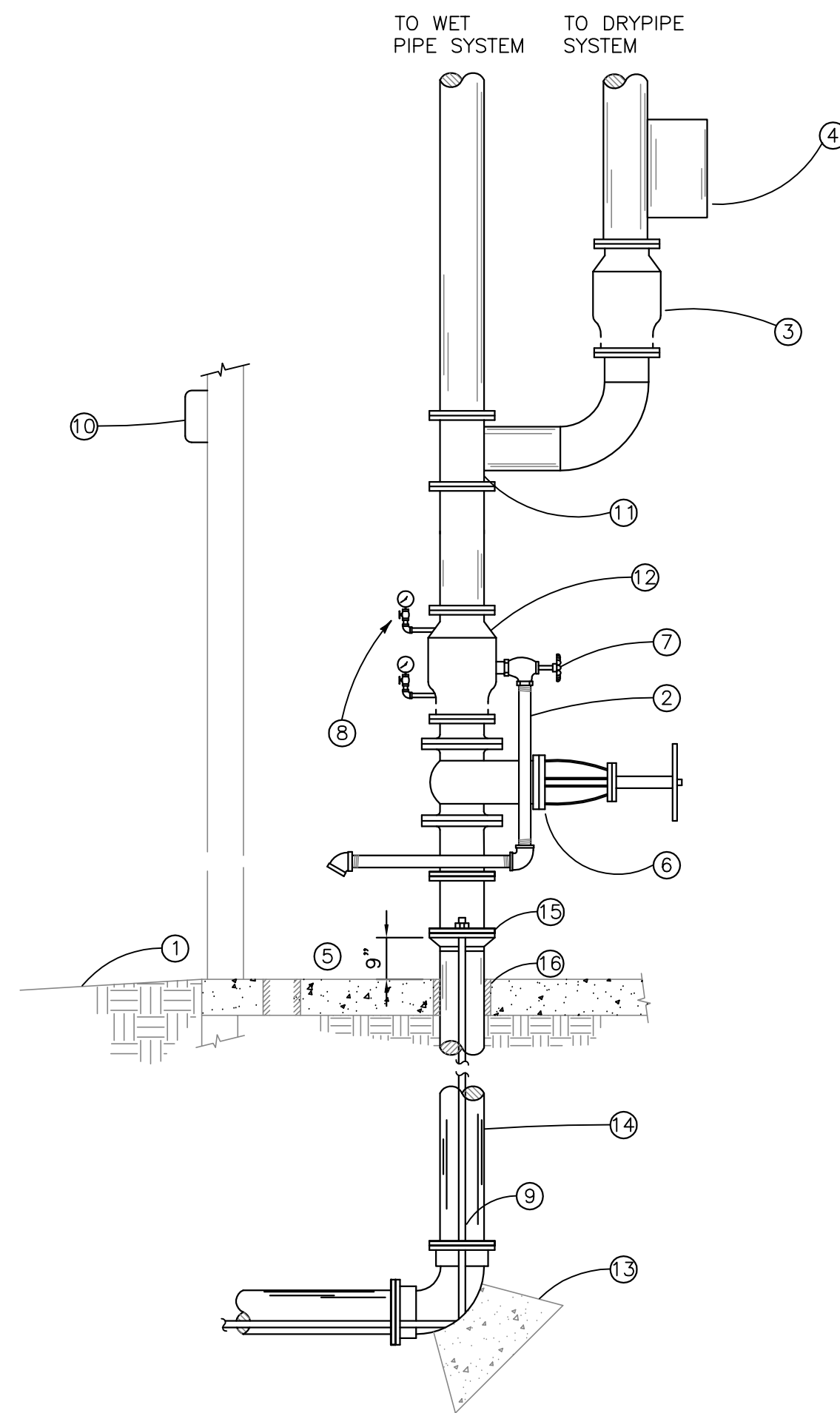
SHEET TITLE  
**SECOND FLOOR  
FIRE SPRINKLER  
PLAN**

SHEET NO <b>F203</b>	REV NO
-------------------------	--------

1 2 3 4 5 6 7 8 9

**NFPA REQUIREMENTS:**

- A. OWNER: JEFFERSON COUNTY
- B. LOCATION: MONTICELLO, FLORIDA
- C. POINT OF COMPASS: 83° 52' 23" W LONG., 30° 32' 40" N LAT.
- D. CEILING CONSTRUCTION: SEE PLANS
- E. FULL HEIGHT CROSS SECTION: SEE PLANS
- F. LOCATION OF FIRE WALLS: SEE PLANS
- G. LOCATION OF PARTITIONS: SEE PLANS
- H. OCCUPANCY: LIGHT HAZARD
- I. CONCEALED SPACES: ALL CONCEALED SPACES ARE BEING SPRINKLERED IN ACCORDANCE WITH NFPA-13.
- J. SMALL ENCLOSURES: SEE PLANS
- K. MUNICIPLE MAIN: SEE PLANS
- L. FLOW TEST DATA: FLOW TEST BY CONTRACTOR
- M. MAKE, TYPE AND ORIFICE OF SPRINKLERS: SEE SPECIFICATIONS AND PLANS.
- N. HIGH TEMPERATURE SPRINKLERS: NONE
- O. TOTAL AREA PROTECTED:
  - BASEMENT: LIGHT HAZARD, WET PIPE: 3,062 SQUARE FEET
  - FIRST FLOOR: LIGHT HAZARD, WET PIPE: 6,309 SQUARE FEET
  - SECOND FLOOR: LIGHT HAZARD, DRY PIPE: 6,309 SQUARE FEET
  - ATTIC: LIGHT HAZARD, DRY PIPE: 7,506 SQUARE FEET
- P. NUMBER OF SPRINKLERS:
  - BASEMENT: LIGHT HAZARD, WET PIPE: 33 HEADS
  - FIRST FLOOR: LIGHT HAZARD, WET PIPE: 52 HEADS
  - SECOND FLOOR: LIGHT HAZARD, DRY PIPE: 42 HEADS
  - ATTIC: LIGHT HAZARD, DRY PIPE: 89 HEADS
- Q. DRY PIPE VALVES: ONE
- R. PREACTION AND DELUGE VALVES: NONE
- S. ALARM BELL: FLOW SWITCH TO FIRE ALARM SYSTEM.
- T. DRY PIPE OR PREACTION SPRINKLERS: NONE
- U. DRY PIPE SYSTEM CAPACITY: BY CONTRACTOR SHOP DRAWINGS.
- V. PIPE TYPE: NFPA APPROVED
- W. RISER NIPPLES: BY CONTRACTOR SHOP DRAWINGS.
- X. FITTINGS: NFPA APPROVED
- Y. HANGERS AND SLEEVES: BY CONTRACTOR SHOP DRAWINGS.
- Z. VALVE DRAINS AND TEST PIPES: SEE PLANS.
- AA. HOSE EQUIPMENT: NONE.
- BB. UNDERGROUND PIPE: EXISTING TO REMAIN
- CC. PROVISIONS FOR FLUSHING: SEE SPECIFICATIONS AND PLANS.
- DD. ADDITIONS TO EXISTING SYSTEM: PER PLANS
- EE. HYDRAULIC NAMEPLATE DATA: PER HYDRAULIC CALCULATIONS
- FF. NAME AND ADDRESS OF CONTRACTOR: BY CONTRACTOR SHOP DRAWINGS.



**FIRE ENTRANCE RISER DETAIL**  
SCALE: NONE

**NOTES:**

- (FIRE ENTRANCE RISER DETAIL ONLY)
- ① OUTSIDE FINISH GRADE
  - ② 2" DRAIN PIPING DISCHARGE TO SUMP
  - ③ DRY VALVE
  - ④ MAINTENANCE COMPRESSOR
  - ⑤ FINISH FLOOR LEVEL
  - ⑥ RISING STEM INDICATING OS&Y VALVE WITH TAMPER SWITCH
  - ⑦ 2" MAIN DRAIN: DISCHARGE 24" ABOVE OUTSIDE FINISH GRADE.
  - ⑧ WATER PRESSURE GAUGE (2 REQUIRED)
  - ⑨ EXISTING TIE ROD
  - ⑩ ALARM BELL INITIATED BY FIRE ALARM SYSTEM, INSTALL 10FT. ABOVE OUTSIDE FINISH GRADE.
  - ⑪ TEE CONNECTION
  - ⑫ ALARM VALVE
  - ⑬ EXISTING THRUST BLOCK.
  - ⑭ EXISTING FIRE RISER FROM MAIN WATER SUPPLY
  - ⑮ EXISTING MECHANICAL JOINT & FLANGE CONNECTOR
  - ⑯ EXISTING PROVIDE SCH. 40 STEEL PIPE SLEEVE. CAULK ANNULAR SPACE IN A LIQUID TIGHT MANNER.

**GENERAL NOTES**

1. CONTRACTOR SHALL MODIFY THE EXISTING DRY PIPE SPRINKLER SYSTEM TO PRODUCE A COMPLETE AND OPERABLE COMBINATION DRY/WET PIPE AUTOMATIC FIRE SPRINKLER SYSTEM WITH COVERAGE THROUGHOUT THE BUILDING. SYSTEM SHALL BE GENERALLY AS INDICATED ON THE DRAWINGS AND AS SPECIFIED. SYSTEMS SHALL BE A COMBINATION DRY/WET PIPE TYPE. THESE DRAWINGS ARE INTENDED TO CONVEY GENERAL AREAS OF COVERAGE. ACTUAL SPRINKLER HEAD LAYOUT IS DELEGATED TO THE PROFESSIONAL ENGINEER PRODUCING THE WORKING DRAWINGS IN ACCORDANCE WITH THE FLORIDA ADMINISTRATIVE CODE 61G15-30.006. THE DELEGATED ENGINEER SHALL ENSURE THE WORKING DRAWINGS COMPLY WITH THE REQUIREMENTS OF NFPA 13 AS WELL AS ALL OTHER APPLICABLE CODES AND REGULATIONS. SPRINKLER LAYOUT AND PIPING ROUTING SHALL BE COORDINATED WITH THE MECHANICAL DUCT PLANS TO ALLOW FOR COMPLETE INSTALLATION OF BOTH SYSTEMS. HEAD LAYOUT SHALL BE COORDINATED WITH THE ARCHITECTURAL REFLECTED CEILING PLAN. WHERE VARIATIONS IN HEAD LOCATIONS OCCUR FROM THOSE INDICATED ON THESE DRAWINGS, THOSE VARIATIONS SHALL BE COORDINATED WITH THE ARCHITECT AND SHALL BE SUBJECT TO HIS APPROVAL.
2. WORKING PLANS WITH ALL DATA REQUIRED BY NFPA-13 SHALL BE PREPARED UTILIZING DIMENSIONAL DATA OBTAINED FROM THE ARCHITECTURAL FLOOR PLANS NOT SCALED FROM THE FIRE SPRINKLER SHEETS. PIPE SIZING SHALL BE OBTAINED THROUGH HYDRAULIC CALCULATIONS FOR PIPE SIZING BY THE CONTRACTOR, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, AND SUBMITTED TO THE AUTHORITY HAVING JURISDICTION AND APPROVED PRIOR TO BEGINNING ANY CONSTRUCTION.
3. PIPE ELEVATIONS THROUGHOUT SHALL ACCOMDATE NEW CEILINGS. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
4. DESIGN SHALL COMPLY WITH NFPA 13 IN ALL AREAS. PROTECTION SHALL BE DESIGNED FOR LIGHT HAZARD (0.10 GPM/SF) THROUGHOUT.
5. THE EXISTING SYSTEM HAS A FIRE DEPARTMENT CONNECTION AT THE EXISTING BACKFLOW PREVENTER APPROVED BY THE AUTHORITY HAVING JURISDICTION.
6. A SEPARATE PERMIT SHALL BE REQUIRED FOR THE FIRE SPRINKLER SYSTEM. THE AUTOMATIC SPRINKLER CONTRACTOR SHALL SUBMIT PLANS FOR EVALUATION AND APPROVAL PRIOR TO COMMENCING WORK.
7. SUPPORT ALL PIPING FROM PRIMARY BUILDING STRUCTURAL MEMBERS ONLY.
8. REFER TO LIFE SAFETY SHEETS FOR OCCUPANCY CLASSIFICATION. REFER TO ARCHITECTURAL SHEETS FOR BUILDING MATERIAL, WALL AND FLOOR FIRE RATINGS, AND SPACE DIMENSIONAL INFORMATION.
9. ALL CONSTRUCTION SHALL COMPLY WITH NFPA 13, 2013; NFPA 14, 2013; FLORIDA FIRE PREVENTION CODE, FLORIDA BUILDING CODE-BUILDING, FLORIDA BUILDING CODE-PLUMBING, AND FLORIDA BUILDING CODE-MECHANICAL, ALL 6TH EDITION.

**FIRE PROTECTION LEGEND**

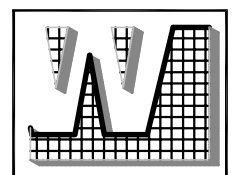
	INSTANTANEOUS PENDENT SPRINKLER
	PENDENT SPRINKLER
	UPRIGHT SPRINKLER
	INSTANTANEOUS SIDEWALL SPRINKLER
	SIDEWALL SPRINKLER
	PIPING DROP IN DIRECTION OF FLOW
	PIPING RISE IN DIRECTION OF FLOW
	WET PIPE SPRINKLER PIPING
	DRY PIPE SPRINKLER PIPING
	UNDERGROUND SPRINKLER PIPING



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS

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www.emiarch.com  
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3073 Hickory Wind Road, Tallahassee, Florida 32317  
Phone (850) 656-3800 C.A.#00009540

This item has been digitally signed and sealed by Roger E. Walsh, P.E. on the indicated date using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Roger E. Walsh, P.E.  
FLA #36997

**Florida Department of State  
Division of Historical Resources**

**HISTORIC JEFFERSON  
COUNTY HIGH SCHOOL  
RESTORATION**

MONTICELLO, FLORIDA

OWNER NAME:  
**Jefferson County Board of  
County Commissioners**  
MONTICELLO, FLORIDA

REV	DATE	DESCRIPTION

PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE 01 AUGUST 2019	DRAWN BY REW
PROJECT NO 65000	CHECKED BY REW

SHEET TITLE  
**FIRE SPRINKLER  
RISER AND  
GENERAL NOTES**

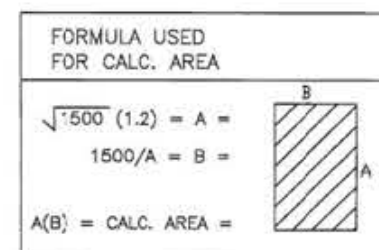
SHEET NO <b>F301</b>	REV NO
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# FIRE PROTECTION PLAN COVER SHEET

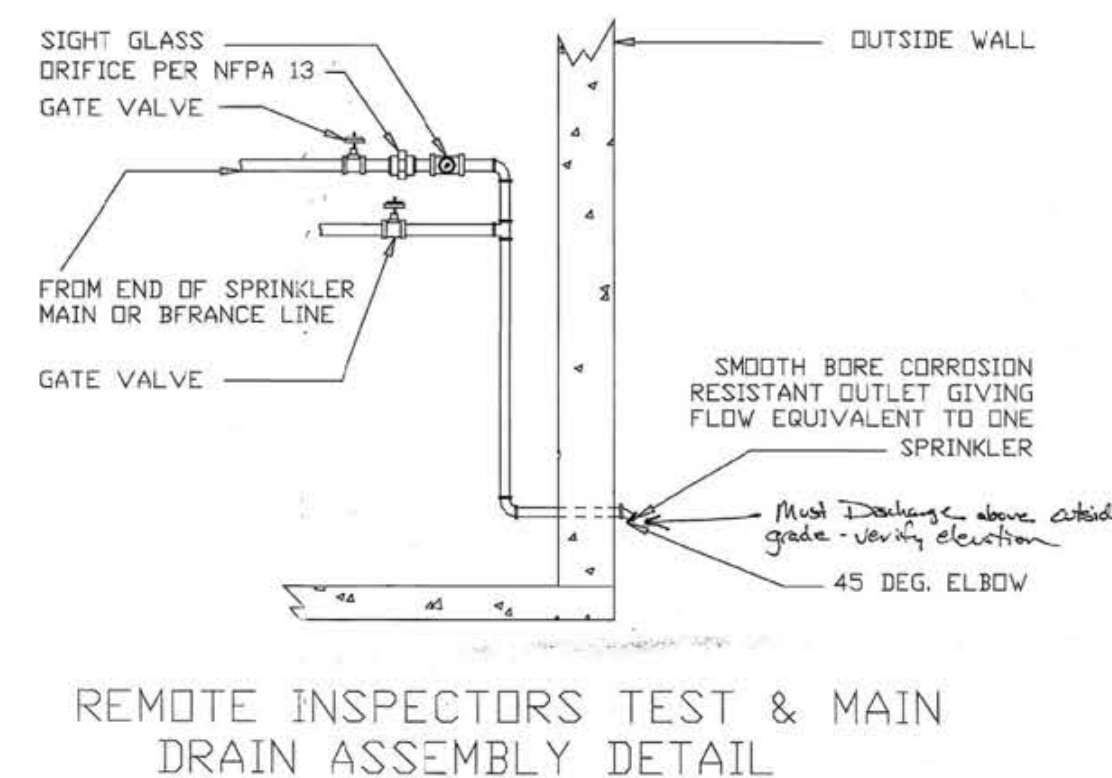
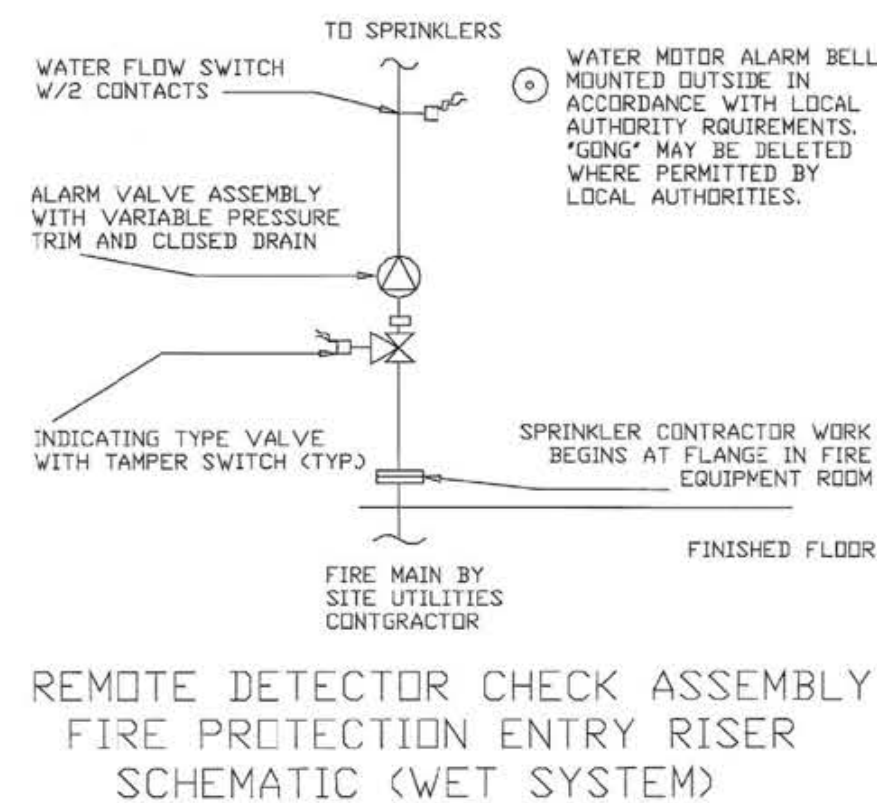
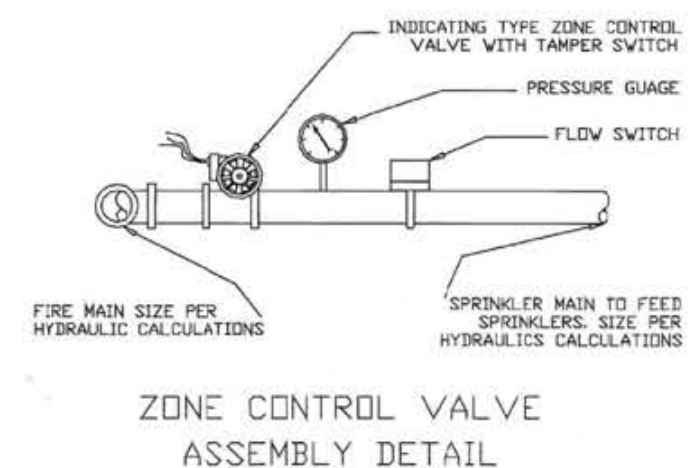
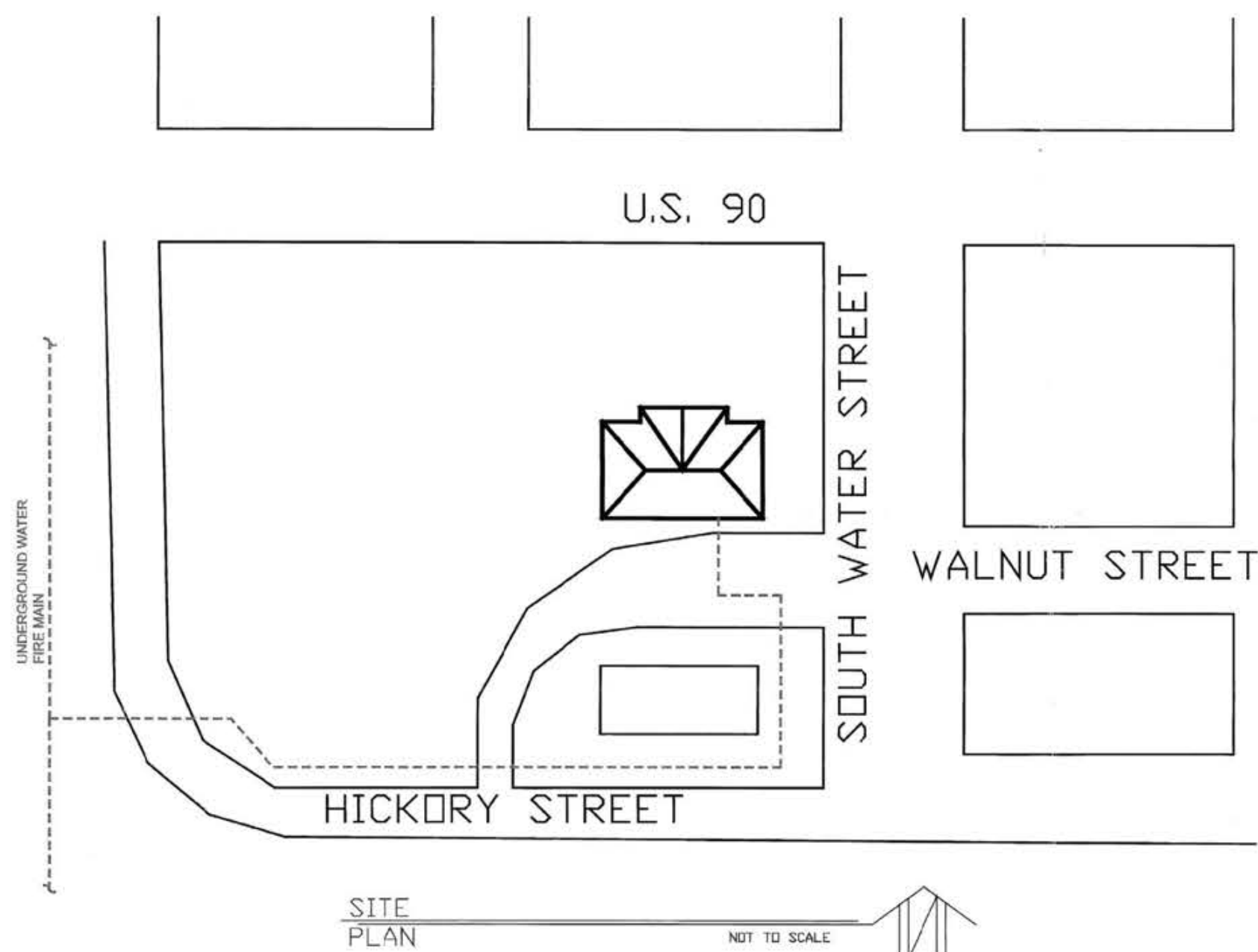
	BASEMENT	1st FLOOR	2nd FLOOR	ATTC.
wet system	-	-	-	-
dry system	yes	yes	yes	yes
dry system approximate gallons	127.53	120.80	137.00	146.62
pendent head/ temp	-	-	-	-
sidewall head/ temp	3 155deg.	4 155deg.	-	-
upright head/ temp	29 155deg.	55 155deg.	59 155deg.	90 155deg.
freezer head/ temp	-	-	-	-
total heads dry system	32	59	59	90
total heads entire floor	32	59	59	90
sq. ft. total	1720	7100	7100	8620
mains	3"	3"	3"	3"
branch lines	1-1/4" & 1"	1-1/4" & 1"	1-1/4" & 1"	1-1/4" & 1"
drops	-	-	-	-
static pressure	57	57	57	57
residual pressure	47	47	47	47
flow rate	1060	1060	1060	1060
underground fire main	6" C-900	6" C-900	6" C-900	6" C-900
city fire main	8"	8"	8"	8"

### LEGEND

- ✓ HANGER SUPPORTS
- ⬡ CALCULATION NODES
- SPRINKLER HEAD
- ⊕ SPRINKLER HEAD
- SPRINKLER HEAD
- ⊙ SPRINKLER HEAD



### ENGINEERING INFORMATION



HEILY PALMER CONSTRUCTION CO., INC.  
REGISTERED ARCHITECT  
SPECIFICATION # JS510  
 APPROVED AS NOTED  
 REVISED AS NOTED  
Agreed if these documents shall be used for the purpose intended by the user.  
DATE: 8/1/2019

R.E. Walsh Engineering, Inc.  
REGISTERED ENGINEER  
DATE: 8/1/2019  
REVISION: 1

PANHANDLE FIRE PROTECTION  
P.O. BOX 1072 LYNN HAVEN, FLORIDA 32444  
PHONE # (904) 722-1220

OLD Historic Monticello High School  
425 Washington Street  
MONTICELLO, FLORIDA

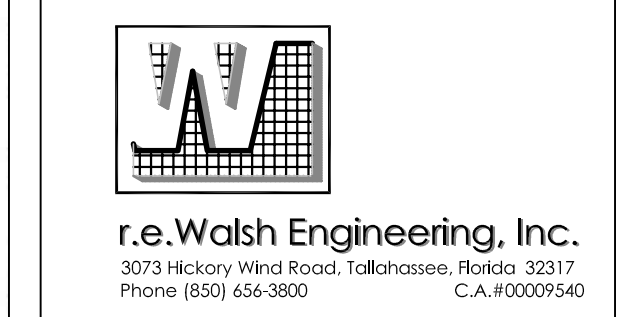
Drawing #  
Date:  
Drawn by: FT  
Revised

FP-cover



ARCHITECTURE  
PLANNING INTERIORS  
GRAPHICS  
ELLIOTT MARSHALL JONES P.A. (BME workmate)  
251 E. 7TH AVENUE TALLAHASSEE FL 32303  
(850) 222-7442  
www.emiarch.com  
LIC#0247 #A-C006407 #C000153

NOTE:  
11"x17" SHEETS ARE PLOTTED  
AT 1/2 THE SCALE NOTED ON  
THESE DRAWINGS.



THE DRAWINGS PRESENTED ON THIS SHEET ARE FOR INFORMATIONAL PURPOSES ONLY. IN ACCORDANCE WITH FAC 61G15-30.003 AND FAC 61G15-23.002 APPLICATION OF PROFESSION SEAL IN NOT APPROPRIATE FOR THIS SHEET.

Roger E. Walsh, P.E.  
FLA #36997

Florida Department of State  
Division of Historical Resources

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PROJECT PHASE  
100% CONSTRUCTION DOCUMENTS

DATE  
01 AUGUST 2019

PROJECT NO  
65000

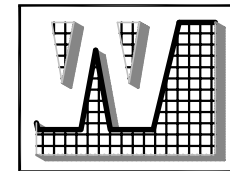
SHEET TITLE  
AS-BUILT  
FIRE SPRINKLER  
PLANS

SHEET NO  
F401

REV NO



NOTE:  
11"x17" SHEETS ARE PLOTTED  
AT 1/2 THE SCALE NOTED ON  
THESE DRAWINGS.

  
**r.e. Walsh Engineering, Inc.**  
3073 Hickory Wind Road, Tallahassee, Florida 32317  
Phone (850) 656-3800 C.A.#00009540

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SHEET TITLE  
**AS-BUILT  
FIRE SPRINKLER  
PLANS**

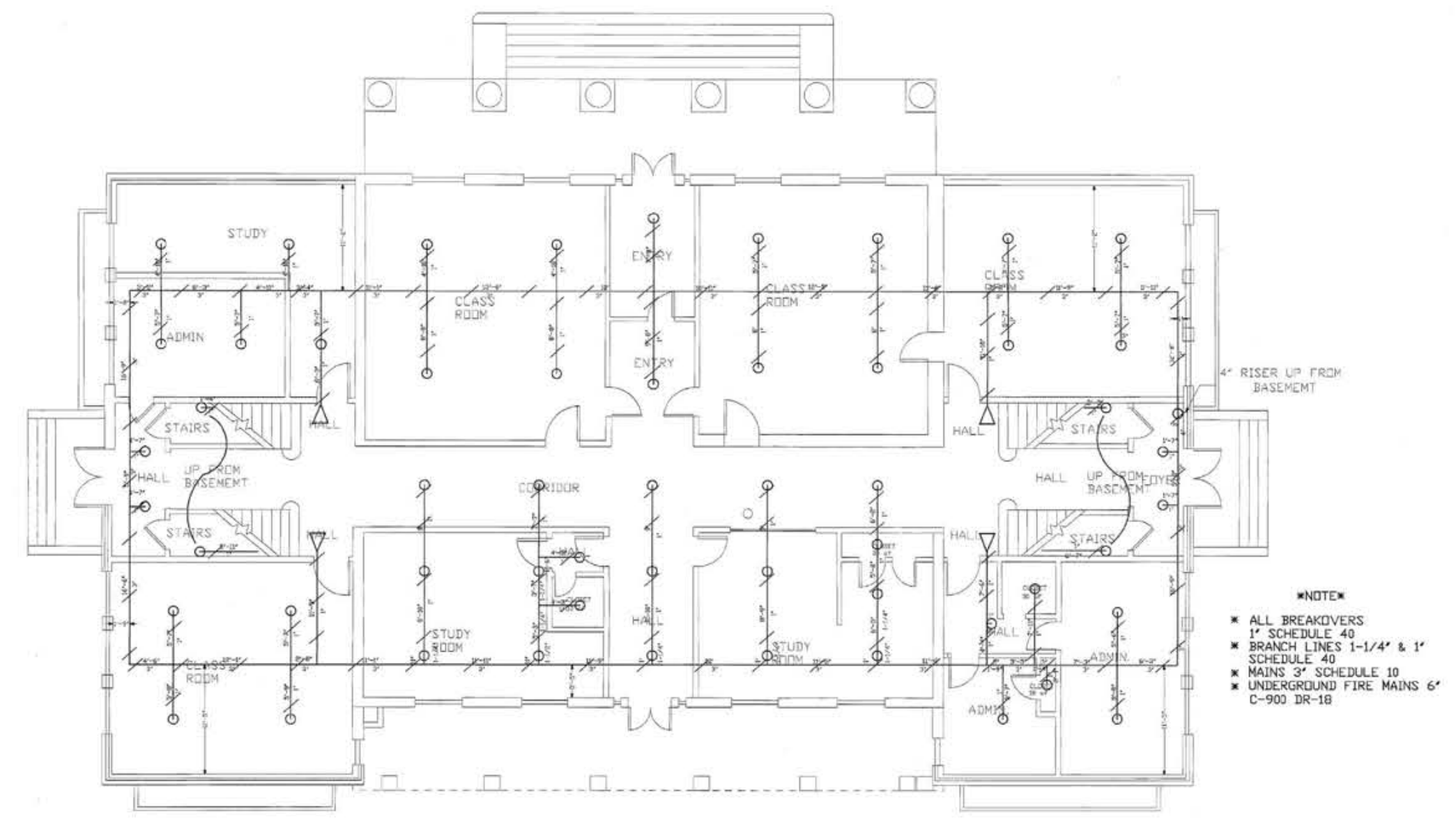
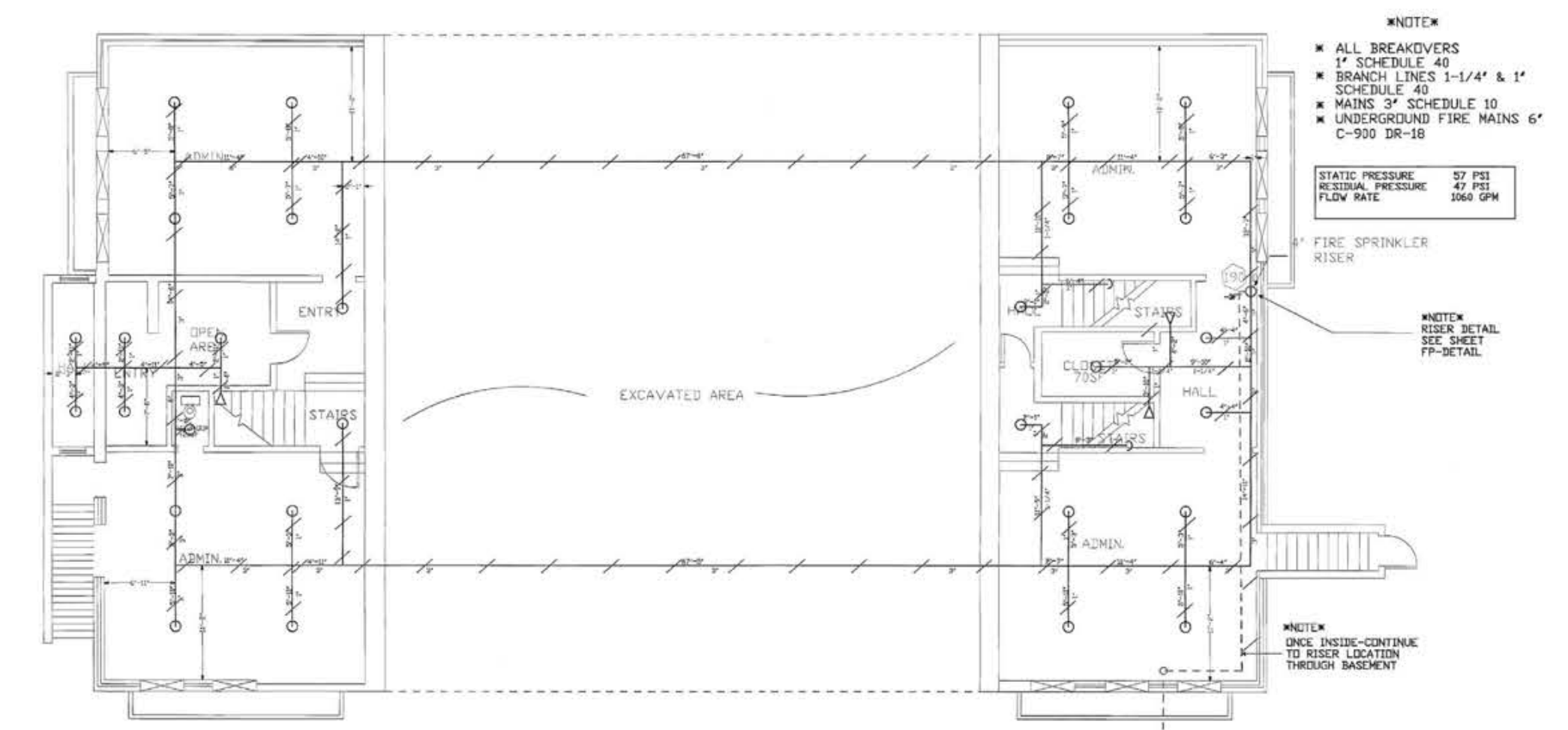
SHEET NO **F403** REV NO

PANHANDLE FIRE PROTECTION  
P.O. BOX 1072 LYNNHAVEN, FLORIDA 32444  
PHONE # (904) 222-1220

OLD Historic Monticello High School  
425 Washington Street  
MONTICELLO, FLORIDA

Drawing #  
Date:  
Drawn by: FT  
Revised

FP-1



**LEGEND**

- ✓ HANGER SUPPORTS
- ◊ CALCULATION NODES
- ▷ SPRINKLER HEADS
- SPRINKLER HEADS

**FORMULA USED FOR CALCULATED AREA**

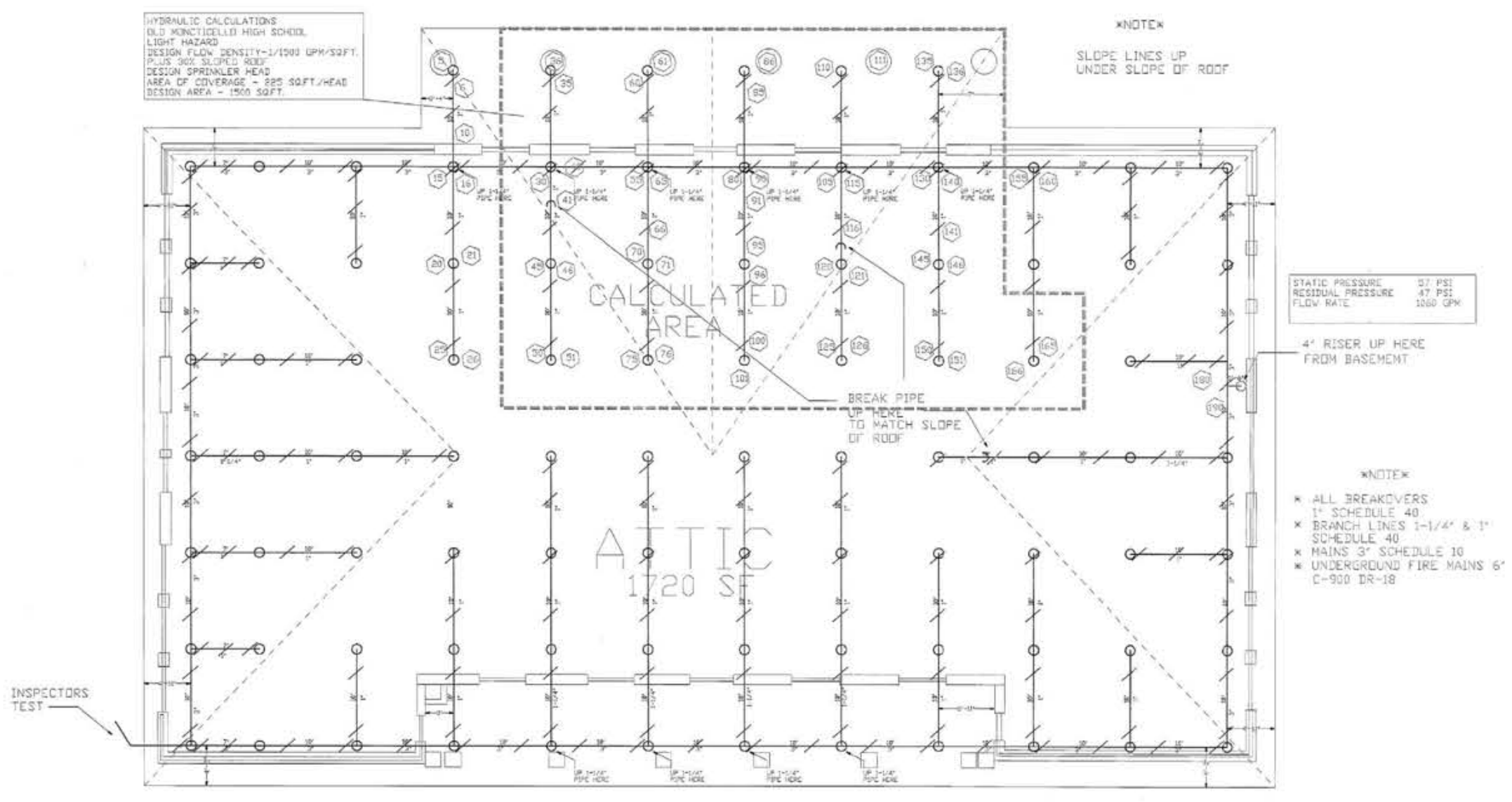
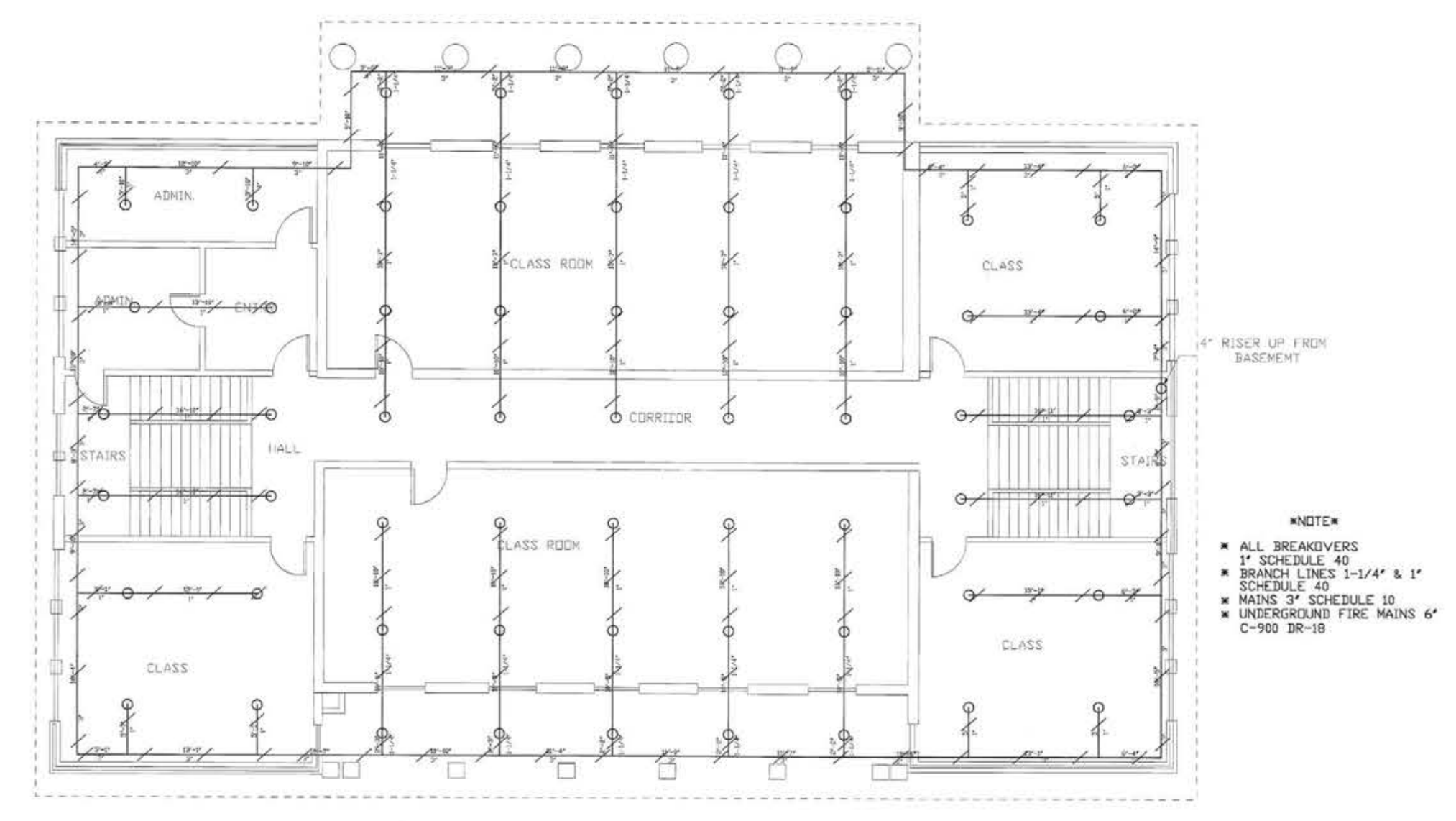
$$\sqrt{5000 \text{ (CALC)}} = A = \frac{B}{A}$$

$$1500/A = B =$$

$$A(B) = \text{CALC. AREA} =$$

**BASEMENT FIRE PROTECTION PLAN**  
Scale 1/8" = 1'-0"

**1st FLOOR FIRE PROTECTION PLAN**  
Scale 1/8" = 1'-0"



**2nd FLOOR FIRE PROTECTION PLAN**  
Scale 1/8" = 1'-0"

**ATTIC FIRE PROTECTION PLAN**  
Scale 1/8" = 1'-0"